

## CODE ANALYSIS

### APPLICABLE CODES

	Year		Year
International Building Code	2006	National Electrical Code	2005
International Mechanical Code	2006	Uniform Code for	
International Plumbing Code	2006	Building Conservation	
International Fire Code	2006	ADA Accessibility	ICC/ANSI
International Energy		Guidelines	A117-1-2006
Conservation Code	2006	* INT'L. EXISTING BLDG CODE	2006

A. Occupancy and Group: B

Change in Use: Yes      No X Mixed Occupancy: Yes      No X  
Special Use and Occupancy (e.g. High Rise, Covered Mall):     

B. Seismic Design Category: D Design Wind Speed: 90 mph

C. Type of Construction (circle one):

I I II III IV V  
A B A B HT A B

D. Fire Resistance Rating Requirements for the Exterior Walls based on the fire separation distance (in hours):

North: 0 South: 0 East: 0 West: 0

E. Mixed Occupancies:      Nonseparated Uses: X

F. Sprinklers: NOT EXISTING

Required: X Provided: X Type of Sprinkler System: WET

G. Number of Stories: 1 Building Height: 25'-0"

H. Actual Area per Floor (square feet): 27,560

I. Tabular Area: 23,000

J. Area Modifications:

$$a) A_a = A_t + [A_t I_f] + [A_t I_s] \quad I_f = \left[ \frac{F}{P} - 0.25 \right] \frac{W}{30}$$

$$A_a = 23,000 + [23,000 (.75)] + [23,000 (0)] \quad I_f = \left[ \frac{916' - 0.25}{916'} \right] \frac{30}{30}$$

$$A_a = 40,250 \text{ SF} \quad I_f = .75$$

b) Sum of the Ratio Calculations for Mixed Occupancies:

$$\frac{\text{Actual Area}}{\text{Allowable Area}} \leq 1$$

c) Total Allowable Area for:

- One Story: 40,250 SF (SPRINKLERED)
- Two Story: A<sub>a</sub>(2) NOT USED
- Three Story: A<sub>a</sub>(3) NOT USED

d) Unlimited Area Building: Yes      No X Code Section:     

K. Fire Resistance Rating Requirements for Building Elements (hours).

Element	Hours	Assembly Listing	Element	Hours	Assembly Listing
Exterior Bearing Walls	0		Floors - Ceiling Floors	0	
Interior Bearing Walls	0		Roofs - Ceiling Roofs	0	
Exterior Non-Bearing Walls	0		Exterior Doors and Windows	0	
Structural Frame	0		Shaft Enclosures	0	
Partitions - Permanent	0		Fire Walls	0	
Fire Barriers	0		Fire Partitions	0	
			Smoke Partitions	0	

IN COMPLIANCE WITH FOOTNOTE e TABLE 601 IBC - SPRINKLERS ARE NOT BEING USED FOR AREA INCREASE. THEY ARE BEING USED FOR FIRE RATED CORRIDORS

L. Design Occupant Load: 470

Exit Width Required: 70.5" Exit Width Provided: 288.0"

M. Minimum Number of Required Plumbing Facilities: \* SECT 710.1 INT'L. EXISTING BLDG CODE

- Water Closets - Required (m) 6 (f) 6 Provided (m) 6 (f) \* 5
- Lavatories - Required (m) 4 (f) 4 Provided (m) 4 (f) \* 3
- Bath Tubs or Showers:
- Drinking Fountains: \* 2 Service Sinks: 2

### FOOTNOTES:

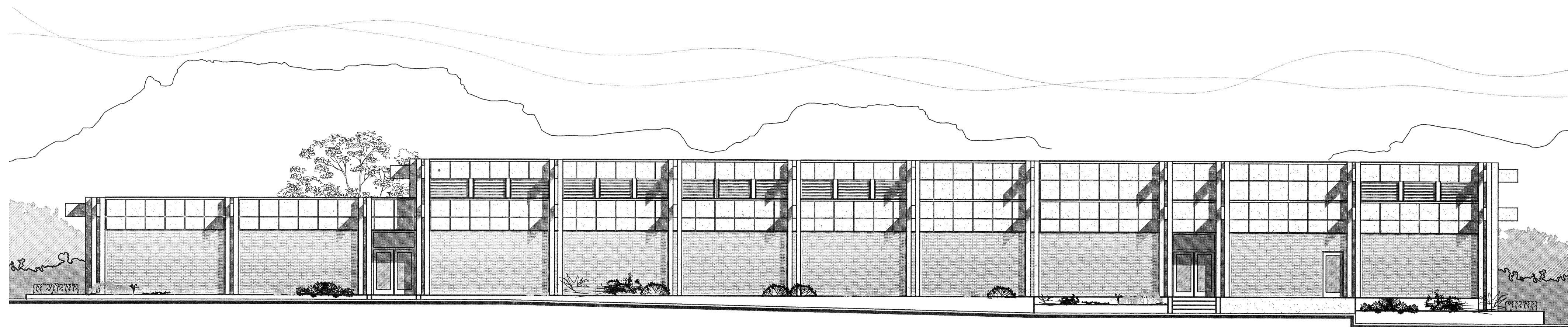
- In case of conflict with the U.S. Department of Justice Federal Registers Parts I through V - ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirement shall govern.
- Additional Code Information shall be provided at the discretion of the Building Official for Complex Buildings. Including, but not limited to:
  - High Rise Requirements.
  - Atriums.
  - Performance Based Criteria.
  - Means or Egress Analysis.
  - Fire Assembly Locator Sheet.
  - Exterior and Interior Accessibility Route.
  - Fire Stopping, Including Tested Design Number.

# DIXIE STATE COLLEGE

## JENNINGS HEALTH & TECHNOLOGY CENTER REMODEL

# ST. GEORGE, UTAH 84770

DFCM PROJECT NUMBER  
08099640



### SPECIAL INSPECTIONS

NO SPECIAL INSPECTIONS -SEE SECT. 1704.1 IBC

### DEFERRED SUBMITTALS

FIRE SPRINKLERS-ANTICIPATED DATE JAN. 10, 2009

## DFCM PLAN CHECK

Division of Facilities Construction and Management

Phase	CONSTRUCTION DOCUMENTS				Program	Yes	No
	Approved as noted	Reflected Revisions	No Comment	Initial		Date	
Accessibility	_____	_____	_____	_____		_____	_____
Architectural	_____	_____	_____	_____		_____	_____
Civil	_____	_____	_____	_____		_____	_____
Electrical	_____	_____	_____	_____		_____	_____
Energy	_____	_____	_____	_____		_____	_____
HVAC	_____	_____	_____	_____		_____	_____
Landscape	_____	_____	_____	_____		_____	_____
Plumbing	_____	_____	_____	_____		_____	_____
Specification	_____	_____	_____	_____		_____	_____
Structural	_____	_____	_____	_____		_____	_____

APPROVAL DOES NOT RELIEVE A/E OF DESIGN LIABILITY



State of Utah-Department of Administrative Services

### DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT

4110 State Office Building/Salt Lake City, Utah 84114/538-3018

## ARCHITECTURAL

MESA CONSULTING GROUP  
53 NORTH MAIN STREET  
ST. GEORGE, UTAH 84770  
(435) 673-4800

## ELECTRICAL

BNA CONSULTING, INC.  
635 S. STATE STREET  
SALT LAKE CITY, UT 84111  
(801) 532-2196

## STRUCTURAL

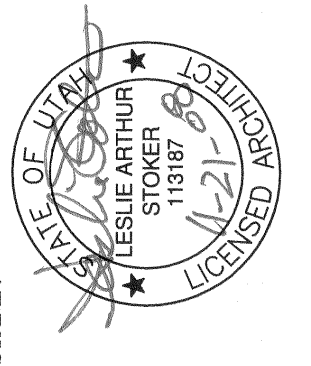
MESA CONSULTING GROUP  
53 NORTH MAIN STREET  
ST. GEORGE, UTAH 84770  
(435) 673-4800

## MECHANICAL & PLUMBING

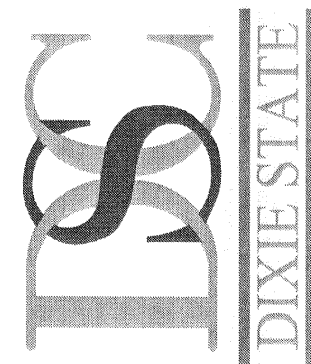
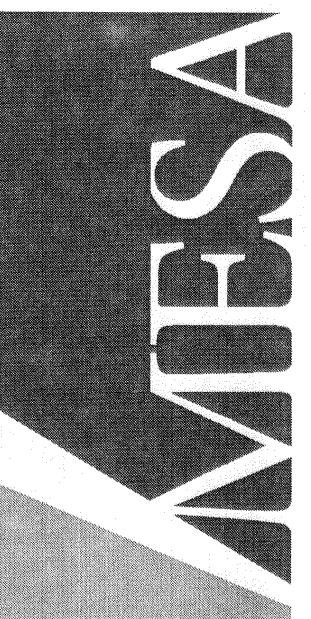
WHW ENGINEERING INC.  
8619 SOUTH SANDY PARKWAY #101  
SANDY, UTAH 84070  
(801) 466-4021

## OWNER INFO

DIXIE STATE COLLEGE  
DIVISION OF FACILITIES CONSTRUCTION & MANAGEMENT  
4110 STATE OFFICE BUILDING  
SALT LAKE CITY, UTAH 84114  
JEFF REDDOOR, PROJECT COORDINATOR



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DIXIE STATE COLLEGE  
JENNINGS HEALTH & TECHNOLOGY CTR REMODEL  
225 SOUTH 700 EAST  
ST GEORGE, UT 84770

SUBMITTAL  
• PLAN CHECK

REVISIONS

DATE 11/21/2008

PROJECT NO. 08038

SHEET

COVER SHEET

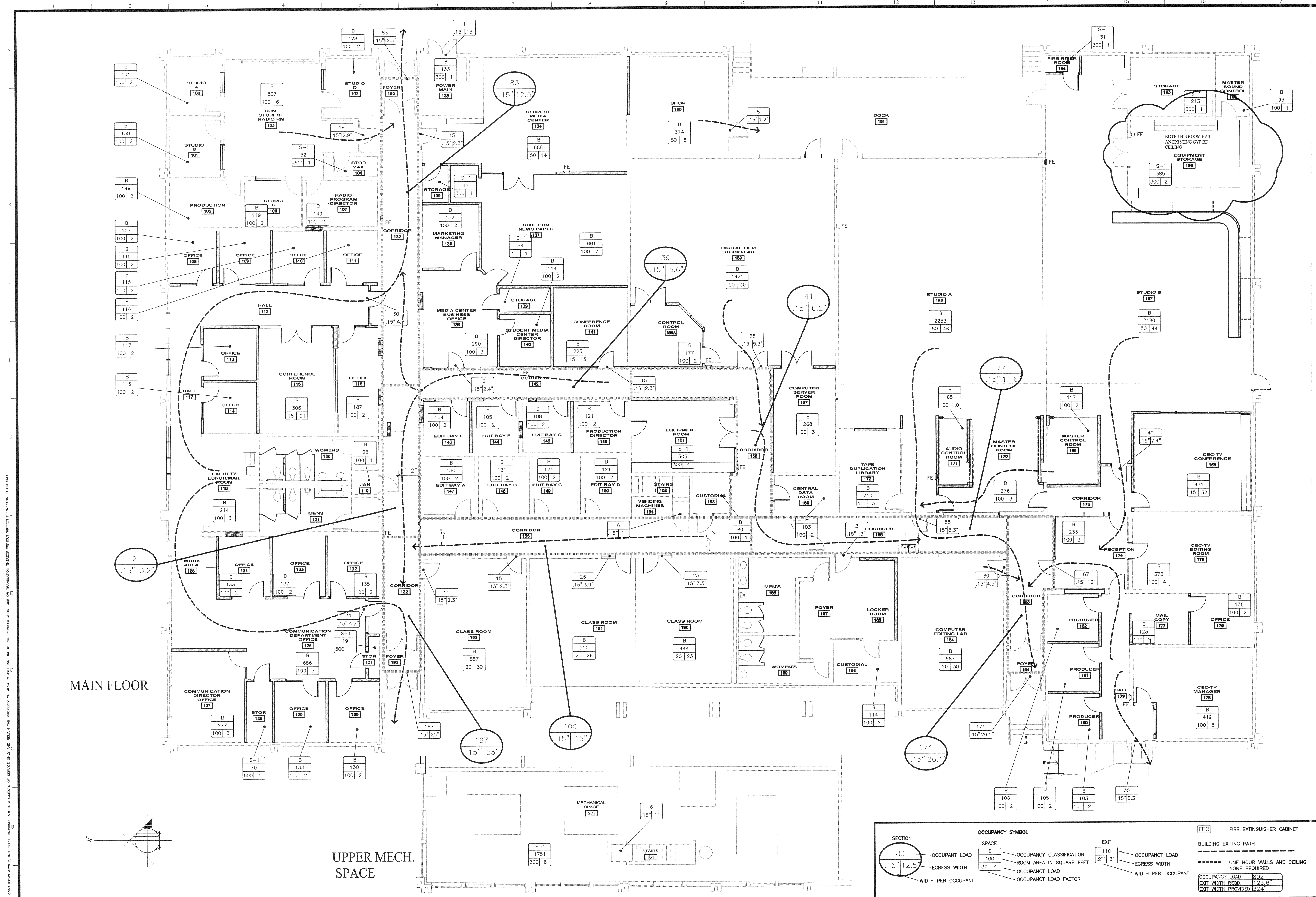
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G101







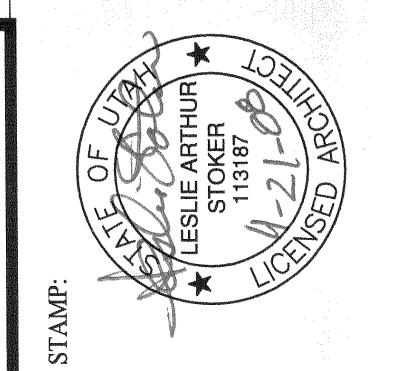


A1 OCCUPANCY CODE DATA

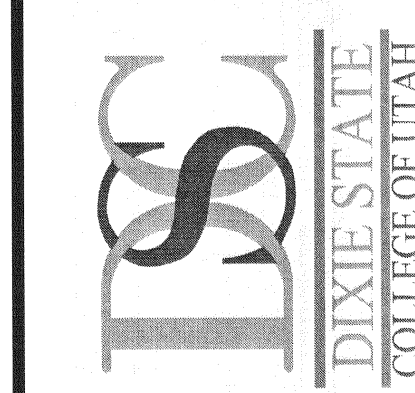
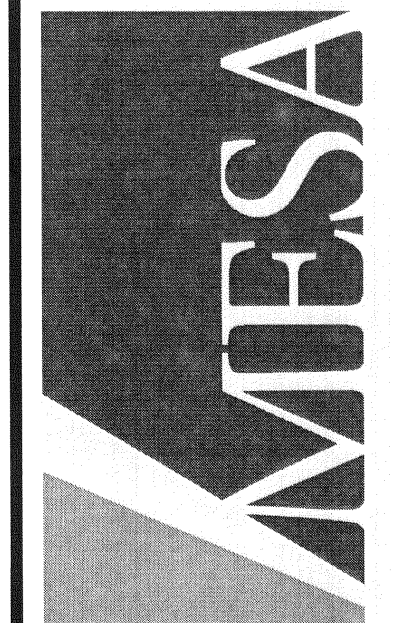
1/8" = 1'-0"

A12 LEGEND

NTS



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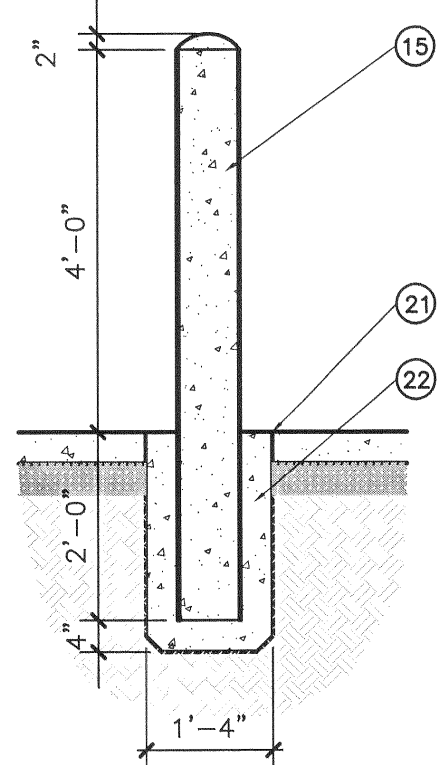
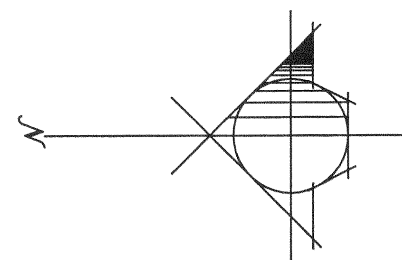
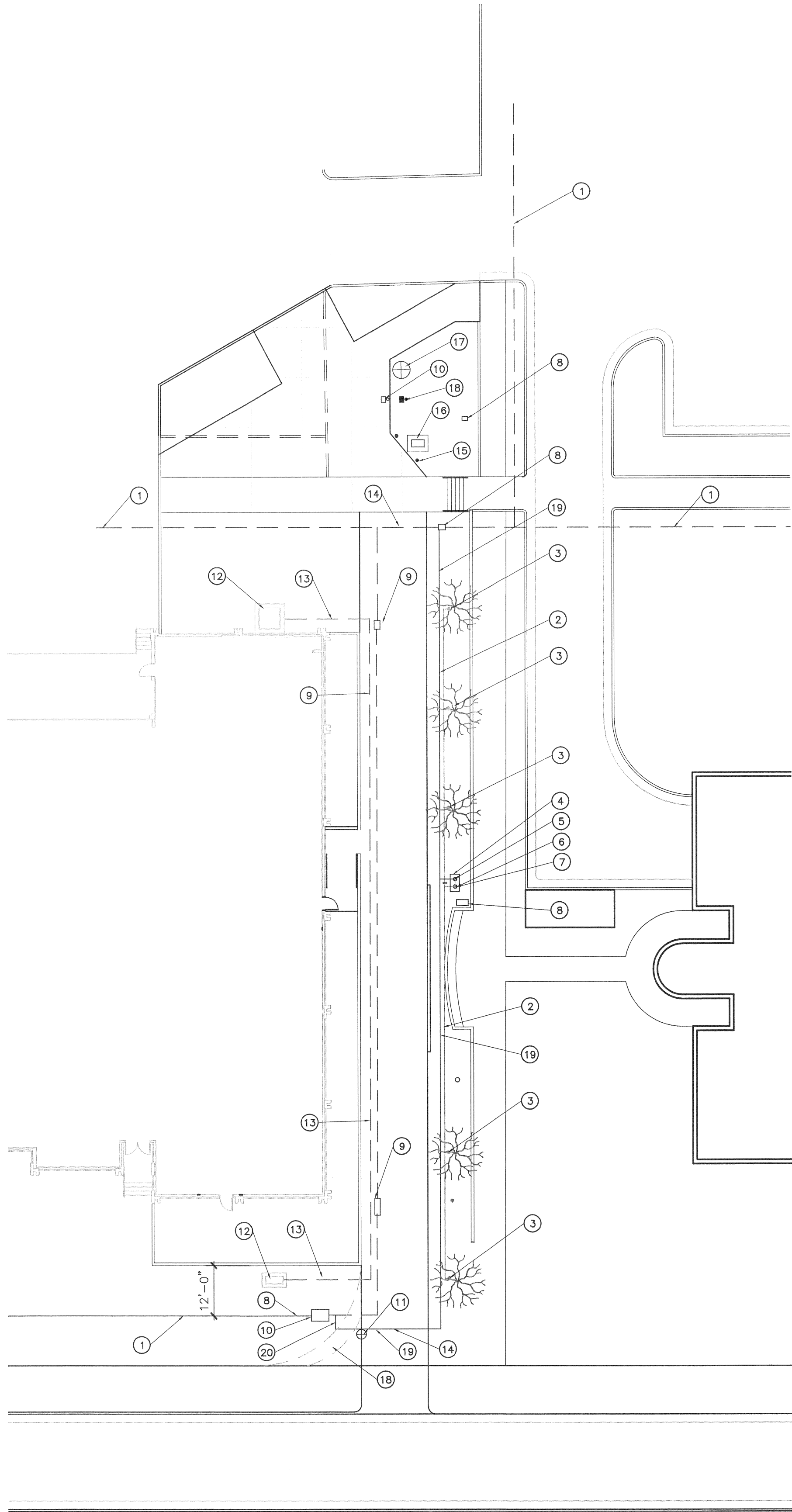
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CODE DATA

SHEET NO.  
G103



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# KEYNOTES

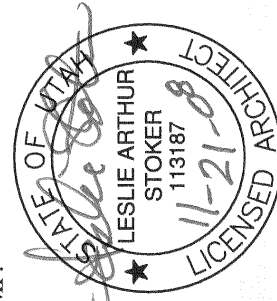
- EXISTING 2" PVC Sch. 40 SUPPLY LINE TO REMAIN
- NEW 1" PVC Sch. 40 LATERAL SUPPLY LINE.
- NEW 1/2" PVC RISER W/ ADJUSTABLE BUBBLER HEAD.
- NEW PLASTIC VALVE BOX 12"x18" - AMETEK OR CARSON Ind.
- 1 NEW 1" BRASS BALL VALVE.
- 1 NEW RAINBIRD ELECTRIC REMOTE CONTROL VALVE w/ NEW WIRING TO EXISTING CONTROL TIMER.
- 1 NEW 1" RAINBIRD IN LINE FILTER.
- EXISTING VALVE BOX TO REMAIN. MAINTAIN IRRIGATION WATER TO AREA OF SERVICE.
- EXISTING VALVE BOX AND VALVES TO BE REMOVED.
- RELOCATE EXISTING VALVE BOX, VALVES AND CONDUCTORS TO NEW LOCATION SPECIFIED BY OWNER. REPLACE OLD OR WORN GATE OR BALL VALVES, ELECTRIC VALVES WITH NEW SCRUBBER VALVES AND AMAID FILTERS AND CONDUCTORS AS REQUIRED BY OWNER.
- TREE TO BE REMOVED. STUMP GRINDING AND ROOT REMOVAL REQUIRED TO A DEPTH OF 24".
- EXISTING HIGH VOLTAGE SWITCH. PROTECT FROM ANY DAMAGE.
- EXISTING HIGH VOLTAGE CONDUIT AND CONDUCTORS AT APPROXIMATELY 3' DEPTH TO REMAIN
- PROVIDE PVC SLEEVE FOR IRRIGATION PIPE UNDER SLAB.
- PROVIDE NEW 6" STEEL PROTECTION BOLLARDS.
- PROTECT COMMUNICATIONS CABINET AND UNDERGROUND FIBER OPTIC CABLES.
- PROTECT EXISTING TREE.
- REGRADE, REPAIR SPRINKLERS AND SOD.
- NEW 2' PVC Sch. 40 IRRIGATION SUPPLY LINE.
- BRING NEW WATER LINE INTO EXISTING BOX
- 4" CONCRETE SLAB W/ CONTROL JOINTS, SLOPE TO DRAIN AWAY
- CONCRETE FOUNDATION

## Plant Scheduel

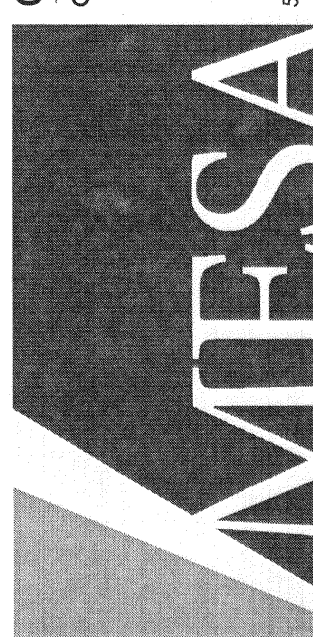
- BRADFORD BEAR TREE, 2" CALIPER.

## General Notes

- CONTACT OWNER FOR LOCATION OF EXISTING ELECTRICAL, DATA, FIBER OPTIC, IRRIGATION SUPPLY AND LATERAL LINES OR OTHER UTILITIES 24 HRS. PRIOR TO EXCAVATION.
  - ALL EXISTING SOD, PLANTINGS AND SELECT IRRIGATION SYSTEM COMPONENTS ARE NOTED TO BE REMOVED. NEW IRRIGATION COMPONENTS SHALL INCLUDE PVC PIPE, VALVES, BOXES AND CONDUCTORS.
  - ALL CONDUCTORS TO BE 14 Ga. U.F. DIRECT BURIAL CONTROL WIRE. GROUND WIRE TO BE 14 Ga. (WHITE). TREE CONDUCTOR TO BE (BLUE).
  - ALL PVC PIPE, CONNECTIONS AND FITTINGS TO BE Sch 40.
  - IRRIGATION WATER SERVICE EFFECTED BY THIS CONTRACT SHALL BE MAINTAINED TO AREAS IDENTIFIED BY OWNER.
  - A ONE YEAR WRITTEN CONTRACTORS WARRANTY IS REQUIRED FOR ALL CONSTRUCTION MATERIALS, PLANTS INCLUDING LABOR.
- SPECIFIC EXTENDED WARANTY FOR VALVES AND OTHER COMPONENTS SHALL BE ON THE MANUFACTURERS WARRANTY FORM.



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JENNINGS HEALTH & TECHNOLOGY CTR REMODEL  
225 SOUTH 700 EAST  
ST GEORGE, UT 84770

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PROJECT NO.

08038

SHEET

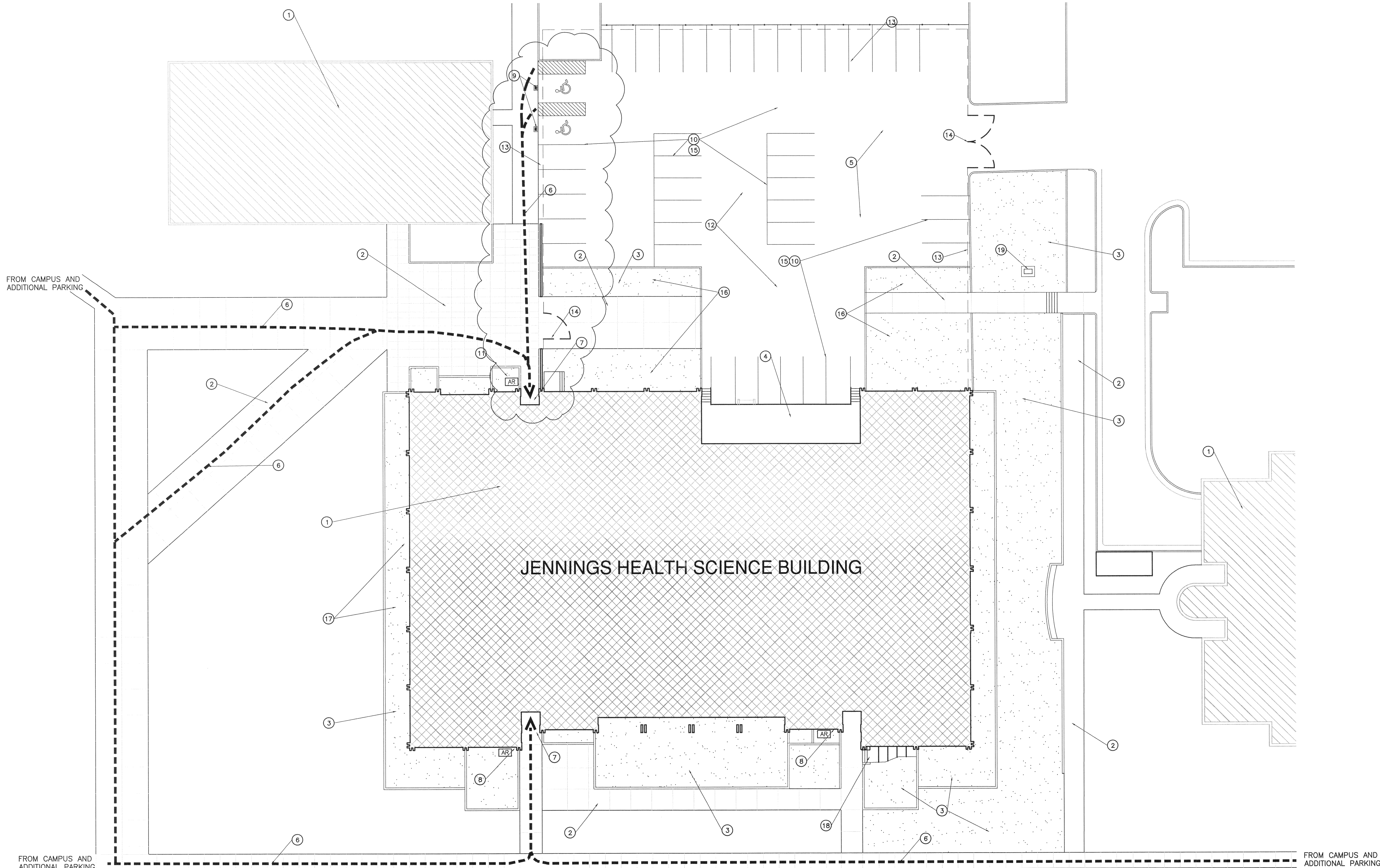
LANDSCAPE  
PLAN

SHEET NO.

L101



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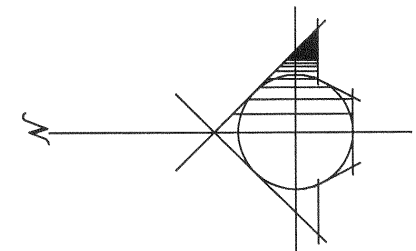


ACCESSIBILITY COMPLIANCE

THE EXISTING JENNINGS BUILDING IS CURRENTLY ADA COMPLIANT WITH THE EXCEPTION OF THE FOLLOWING ITEMS:

- 1) THE EXTERIOR STAIR LOCATED IN THE SOUTHWEST CORNER OF THE FACILITY (SEE SHEET SP101 NOTE 18 AND DETAIL D4 SHEET A501 FOR CORRECTIONS)
- 2) THE ELECTRIC WATER COOLERS (SEE SHEET A401 NOTE 16 AND A403 NOTE 16 AND DETAIL K1/A501 FOR CORRECTIONS)
- 3) VERTICAL GRAB BARS IN HANDICAPPED TOILET STALLS (SEE DETAILS K10/A501, K1/A611, G1/A611 FOR CORRECTIONS)
- 4) LOCKERS (SEE SHEET D101 NOTE 10)

WITH THESE CORRECTIONS THE BUILDING IS ADA COMPLIANT



- KEYNOTES
- 1 EXISTING BUILDINGS
  - 2 EXISTING PAVING
  - 3 EXISTING LANDSCAPING
  - 4 LOADING DOCK
  - 5 EXISTING ASPHALT PARKING LOT
  - 6 CAMPUS ACCESSIBLE ROUTE
  - 7 ACCESSIBLE ENTRANCE
  - 8 EXISTING ADA DIRECTIONAL SIGN ATTACHED TO BUILDING FACADE
  - 9 EXISTING ADA PARKING SIGN TO REMAIN
  - 10 EXISTING PARKING STRIPING
  - 11 NEW ADA SIGN (SEE SIGNAGE DETAILS)
  - 12 CONTRACT STAGING AREA
  - 13 CONSTRUCTION FENCE
  - 14 CONSTRUCTION GATE
  - 15 RESTRIPE PARKING AT COMPLETION OF CONSTRUCTION
  - 16 EXISTING GRASS AREA. PROTECT DURING CONSTRUCTION & KEEP WATERED
  - 17 EXISTING LANDSCAPING TO BE PROTECTED OR REPLACED WITH THE ADDITION OF NEW WINDOWS
  - 18 EXISTING CONC. STAIRS & WALK TO BE REPLACED (SEE DETAILS)
  - 19 EXISTING JUNCTION BOX TO REMAIN

- LEGEND
- AR ACCESSIBLE ROUTE SIGNAGE
  - ACCESSIBLE ROUTE

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ST. GEORGE, UT 84770

PHONE 435-673-4601

FAX 435-673-4601

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DIXIE STATE COLLEGE

JENNINGS HEALTH & TECHNOLOGY CTR REMODEL

225 SOUTH 700 EAST

ST GEORGE, UT 84770

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DATE 11/21/2008

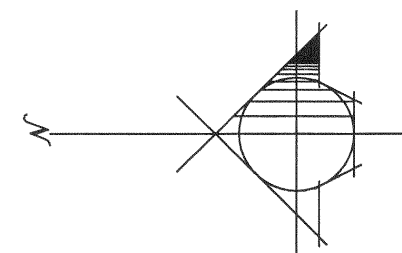
PROJECT NO. 08038

SHEET

SITE PLAN

SHEET NO. SP101




$$1'' = 20' - 0''$$

$$1/2'' = 1'-0''$$

$$\frac{3}{4}'' = 1'-0''$$

$$1/2'' = 1' - 0''$$

$$1/2'' = 1'-0''$$

$$1/4'' = 1'-0''$$

$$\frac{3}{4}'' = 1'-0''$$

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SHEET NO.

SP102



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## SIONS

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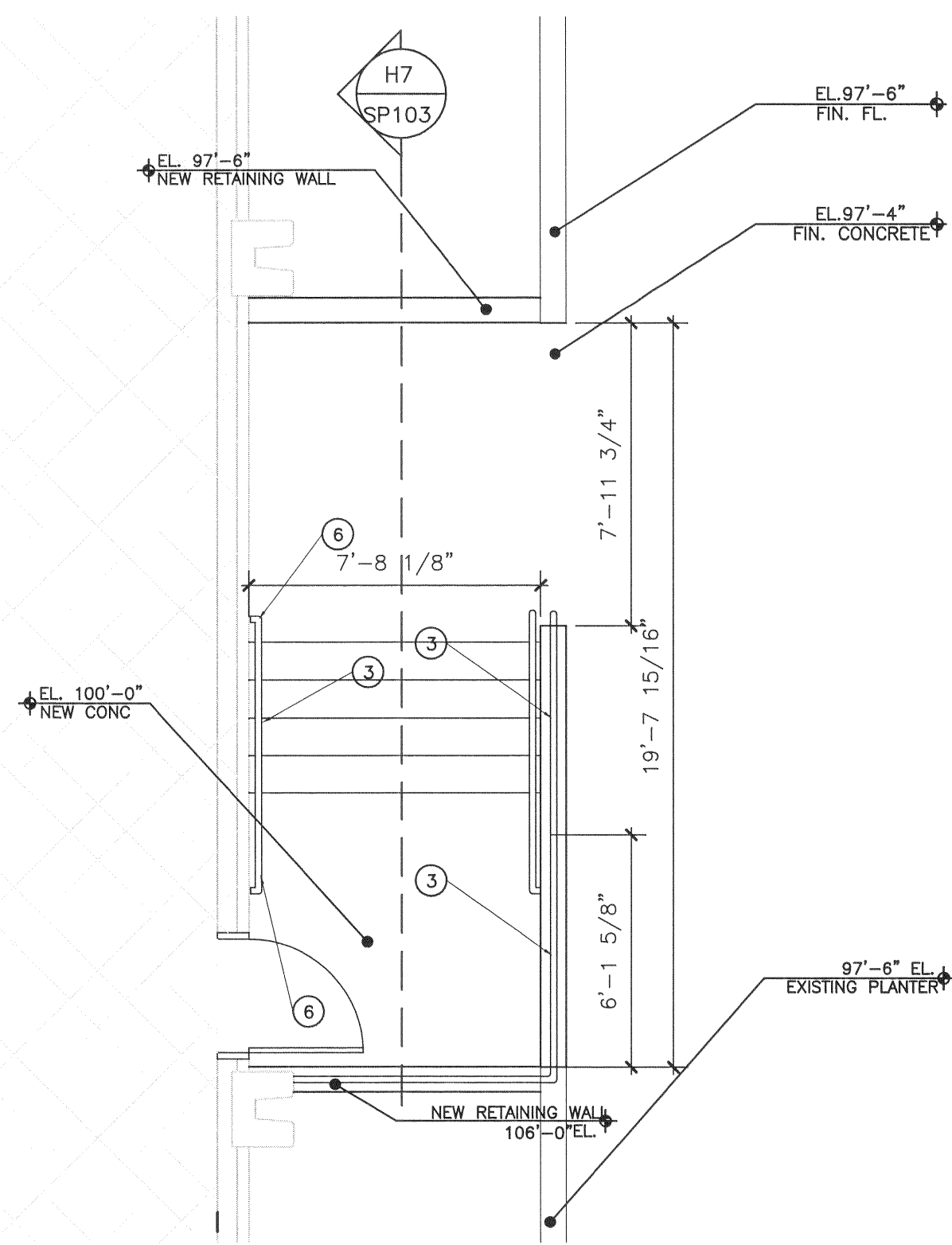
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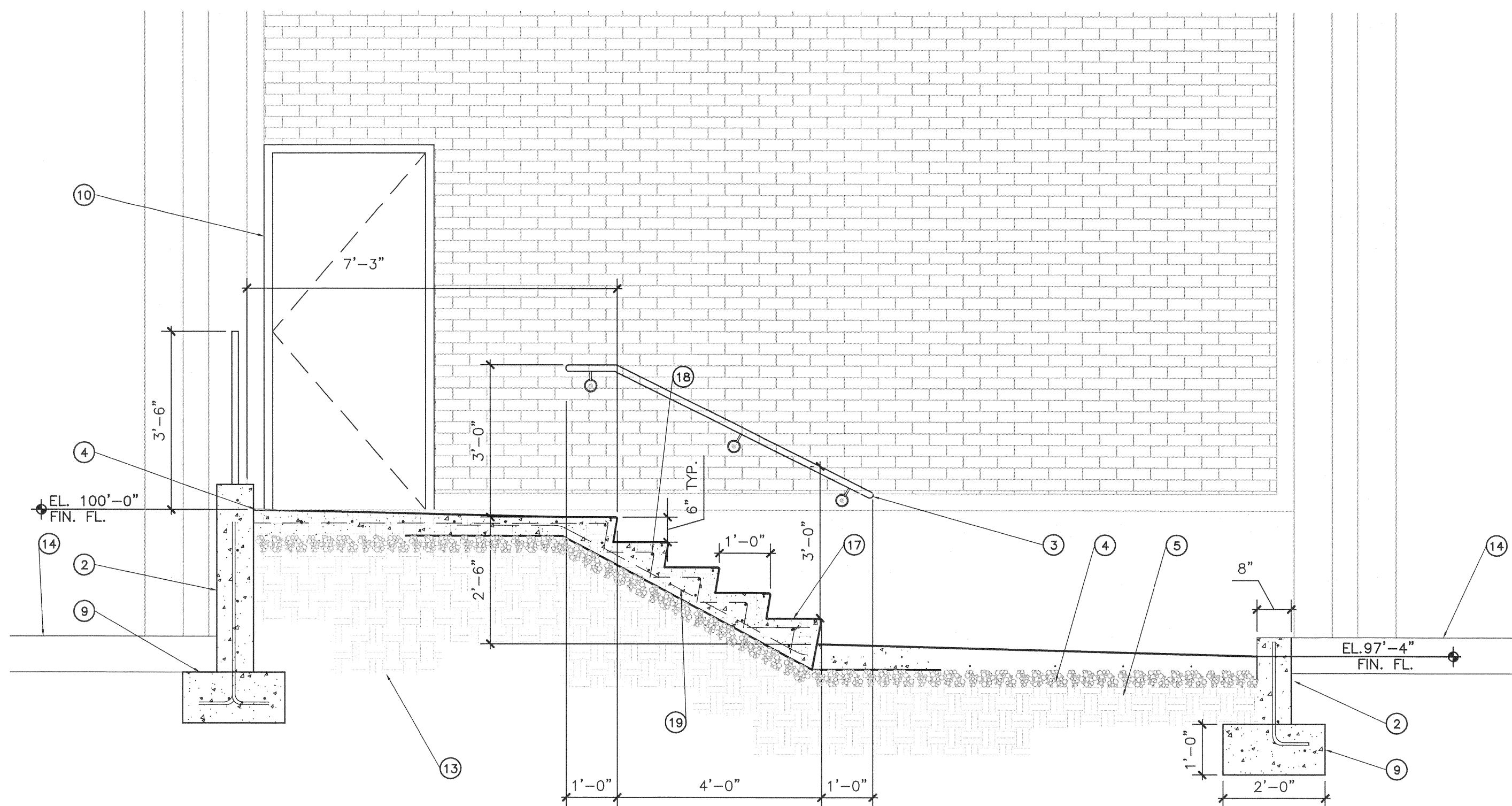


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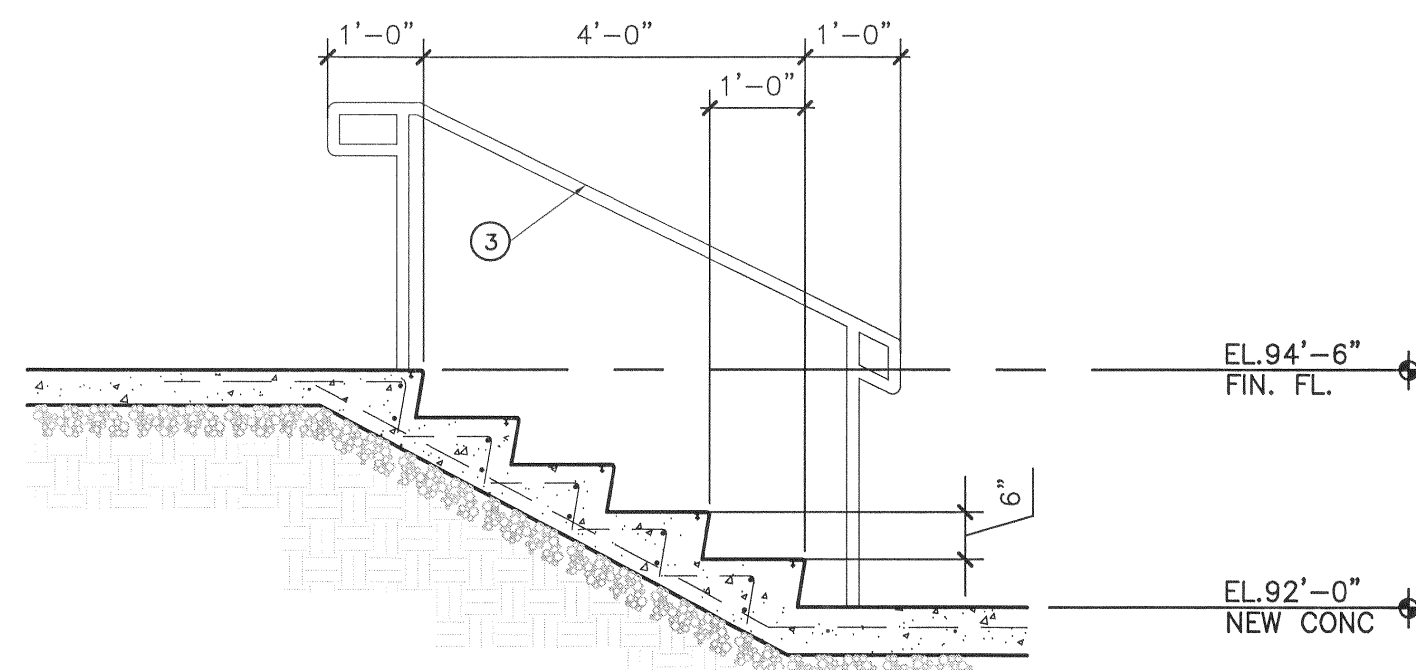
H1 ENLARGED DETAIL ALT #2

1/4" = 1'-0"



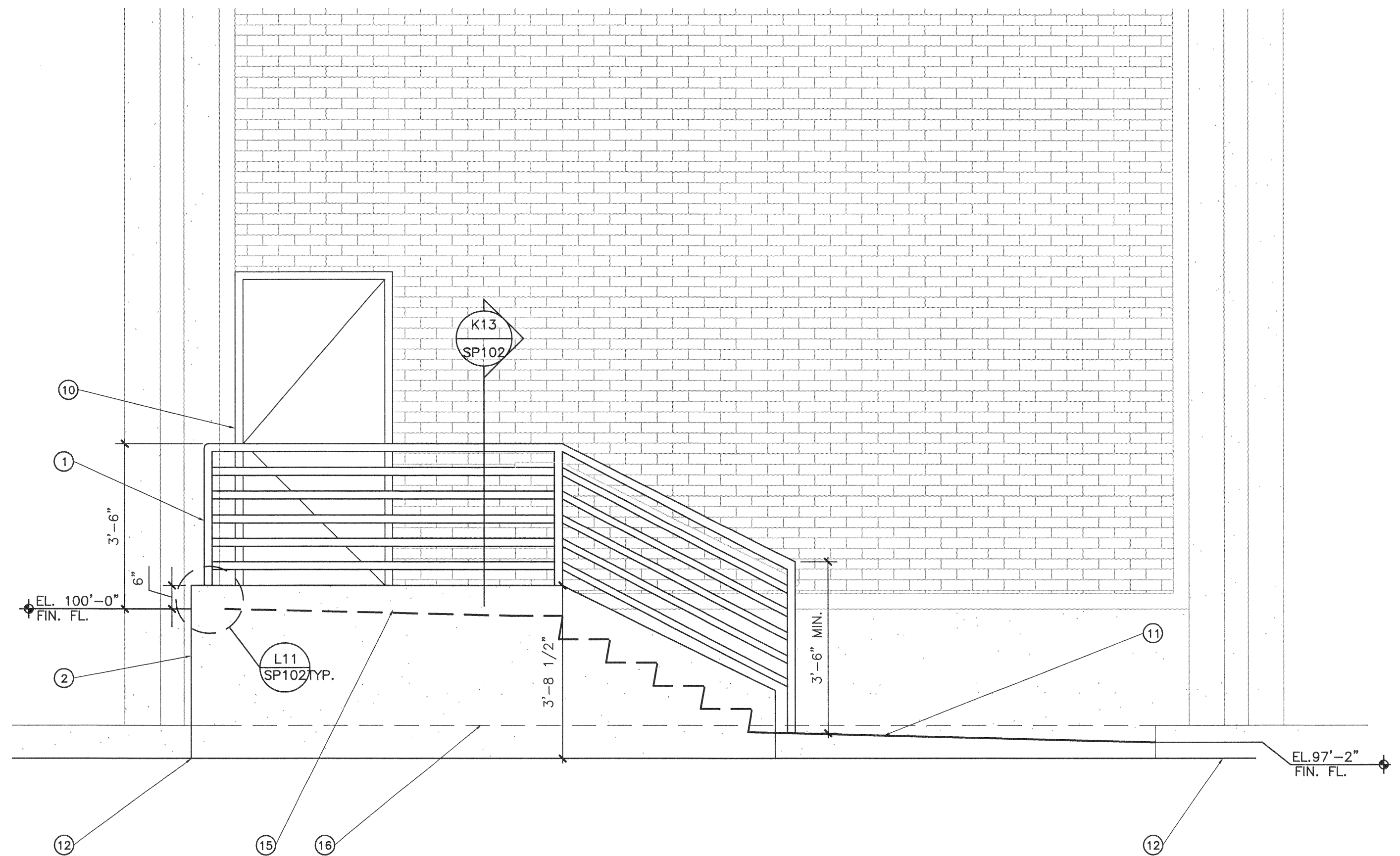
H7 STAIR SECTION ALR #2

1/2" = 1'-0"



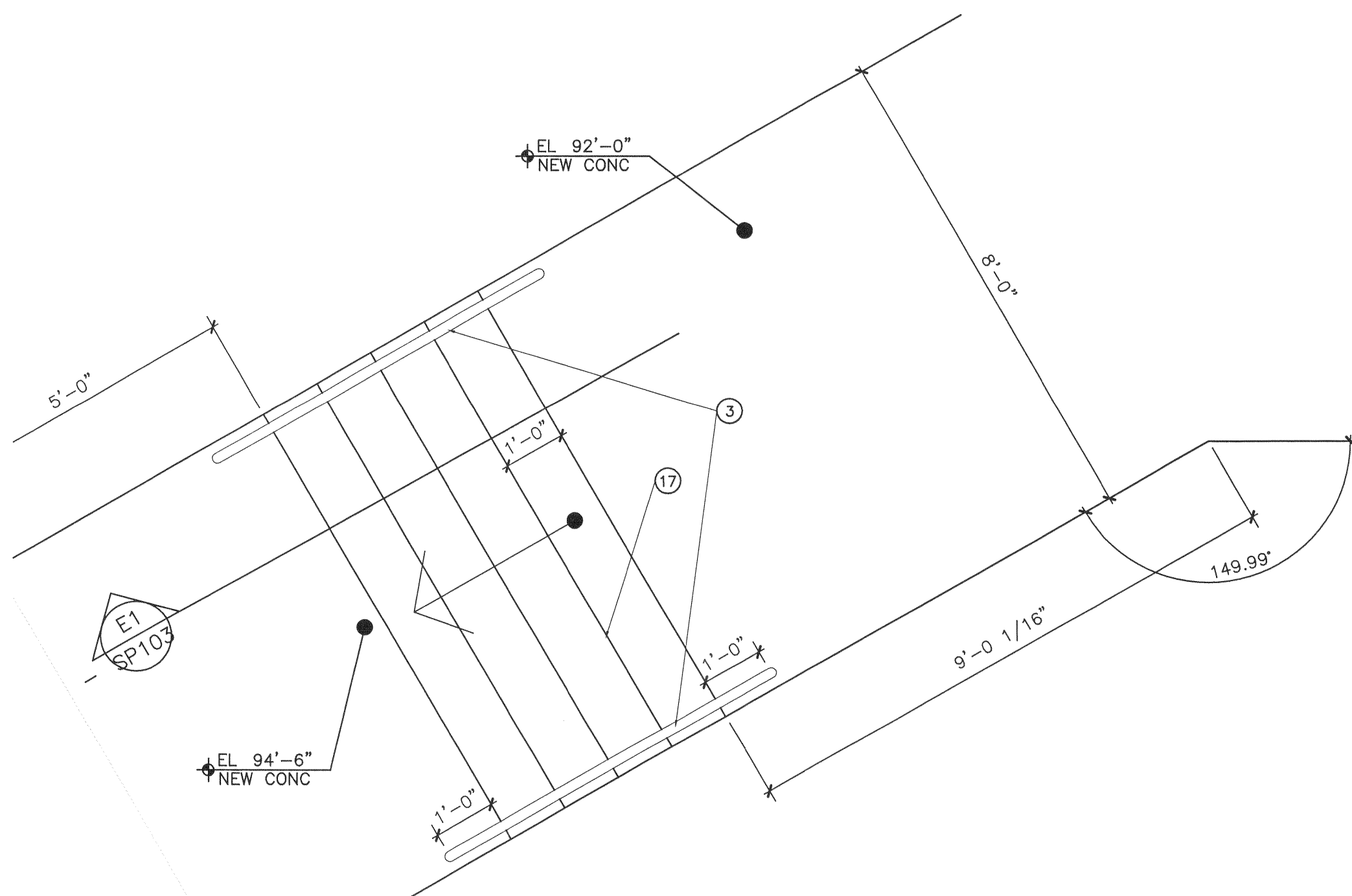
E1 STAIR SECTION ALT #2

1/2" = 1'-0"



A7 STAIR ELEVATION ALT. #2

1/2" = 1'-0"



A1 ENLARGED STAIR PLAN ALT #2

1/2" = 1'-0"

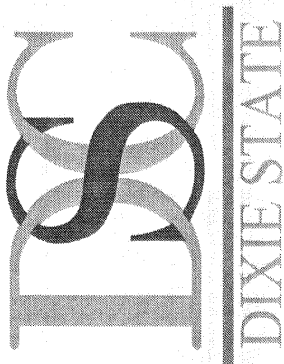
KEYNOTES

- 1) SCHED 40 1-1/2" STEEL PIPE GUARDRAIL
- 2) NEW 8" CONC RETAINING WALL-W/ #4 HOR. BARS @ 12" OC MAX & #4 VERT. BARS W/ STANDARD HOOK
- 3) CONT. 1 1/2"Ø SCHED. 40 PIPE HANDRAIL
- 4) NEW CONCRETE 4" SLAB
- 5) 4" GRAVEL
- 6) RETURN HANDRAIL TO WALL
- 7) DRAIN - SLOPE CONC TO DRAIN
- 8) EXISTING RETAINING WALL
- 9) 18" WIDE CONT. 12" THICK CONCRETE FOOTING W/ 2-#4 CONT. LONG BOT. BARS
- 10) NEW DOOR- SEE DOOR SCHEDULE
- 11) SPACE INTERMEDIATE RAILS NOT TO EXCEED 4"
- 12) EXISTING CONC. PLANTER WALL
- 13) EARTH
- 14) GRADE IN PLANTER
- 15) LINE OF LANDING & STAIR BEHIND CONCRETE WALL
- 16) TOP OF EXISTING PLANTER WALL REMOVED FOR NEW STAIR
- 17) STAIR TREADS & LANDING SLOPED TO DRAIN, TYP.
- 18) #3 T & B BARS @ EACH RISER.#3 HOOK BANT BAR @ 12" OC MAX
- 19) #3 BOT. BAR @ 12" OC MAX



CONSULTING GROUP INC  
architects engineers planners

ST. GEORGE, UT 84770  
PHONE 435-673-4800 FAX 435-673-4801



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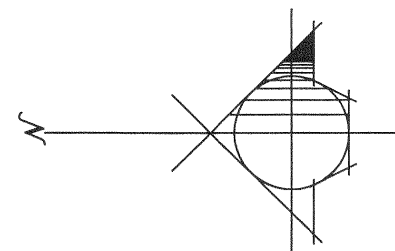
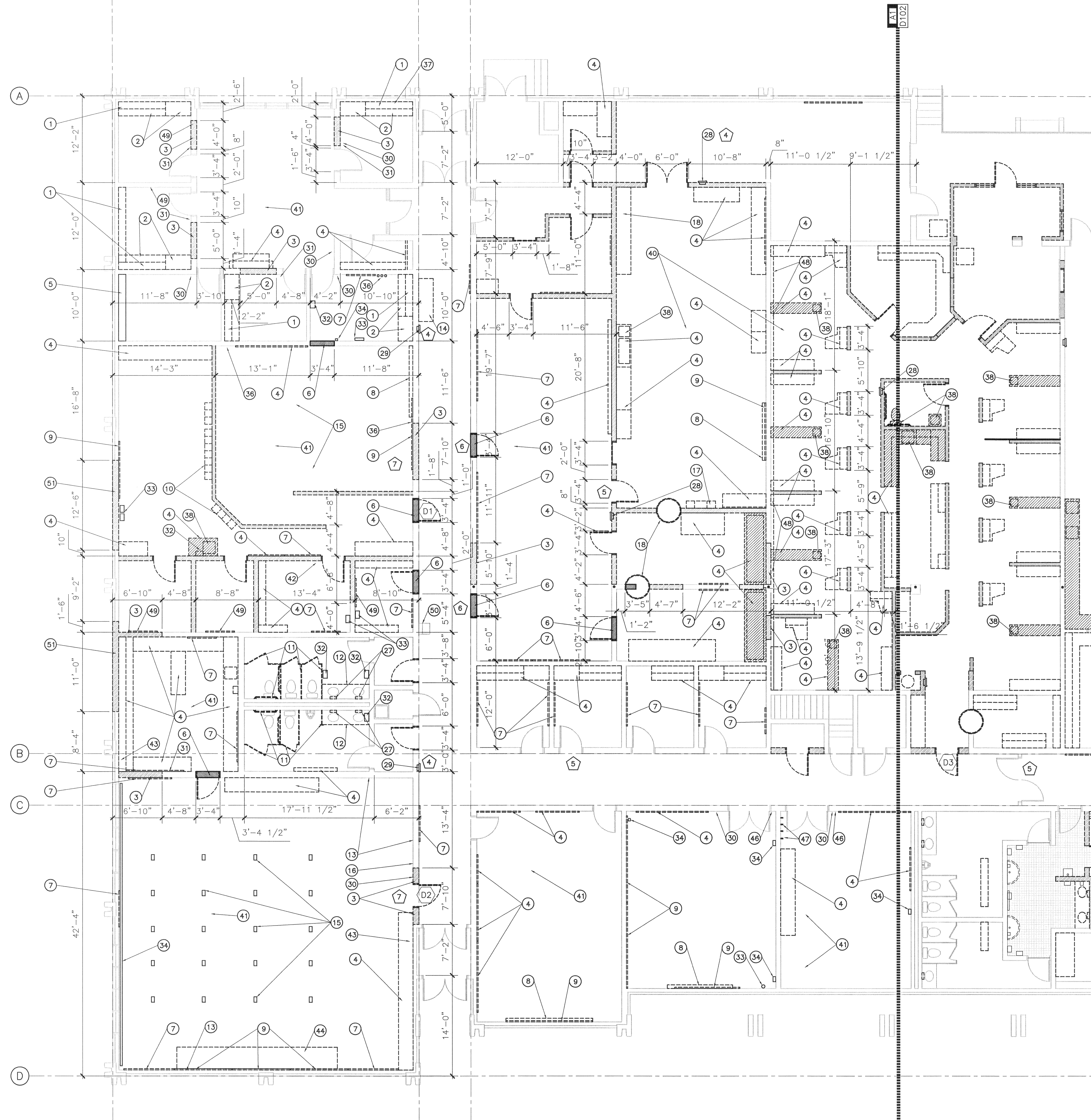
DRIVE SITE  
PLAN  
DETAILS ALT. #2

SHEET NO.

SP103



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A1

## DEMO FLOOR PLAN NORTH

1/8" = 1'-0"

### KEYNOTES

- 50 REMOVE TAC BOARD & DISPOSE. PATCH WALL AS REQUIRED
- 51 CUT & REMOVE CMU FOR NEW WINDOW (SEE EXT. ELEVATIONS & WINDOW DETAILS)

### KEYNOTES

- 1 UPPER CABINETS TO BE REMOVED—MOVE TO PRODUCTION ROOM 105
- 2 LOWER CABINETS & CLOSET CABINET TO BE REMOVED AND DISPOSED
- 3 REMOVE PORTION OF CMU WALL FOR NEW OPENING (SEE DETAIL G10/A501 FOR NEW EDGE CONDITIONS)
- 4 REMOVE & DISPOSE
- 5 RETAIN IN PLACE
- 6 FILL EXISTING OPENING TO MATCH EXISTING CMU—(SEE INTERIOR ELEVATIONS) WHERE EXISTING OPENINGS ARE TO BE FILLED IN SOME EXISTING CMU REQUIRES REMOVAL
- 7 REMOVE TAC BD. & RELOCATE AS PER A11/A606, PATCH WALL AS REQUIRED
- 8 REMOVE & RELOCATE SCREEN TO LOCATION IDENTIFIED ON SHT. A606
- 9 REMOVE MARKER BOARD AND RELOCATE IN LOCATION IDENTIFIED ON SHT A601
- 10 REMOVE LOCKERS—SALVAGE TO OWNER
- 11 REMOVE WC PARTITIONS & GRAB BARS
- 12 REMOVE VANITY—NEW VANITY TO BE LOCATED IN SAME LOCATION
- 13 REMOVE FIBER BOARD ON WALL—REMOVE SURFACE GLUE & PATCH AND REPAIR WALL AS NECESSARY
- 14 REMOVE TROPHY CASE IN PLACE, SALVAGE TO OWNER
- 15 REMOVE FLOOR OUTLETS, PATCH FLOOR AS REQUIRED (SEE ELECT. SHTS.)
- 16 FIRE ALARM EQUIPMENT TO REMAIN (SEE ELECT. SHTS.)
- 17 SALVAGE LOCKERS—DELIVER TO COLLEGE

- 18 SALVAGE—DELIVER TO COLLEGE
- 19 REMOVE AC UNIT—MOVE TO RM #156
- 20 REMOVE CONDENSER—MOVE TO RM #156
- 21 SALVAGE SUCTION TANK—DELIVER TO COLLEGE
- 22 SALVAGE MEDICAL AIR COMP.—DELIVER TO COLLEGE
- 23 RELOCATE TO RM #167—EAST WALL NE CORNER
- 24 REMOVE & DISPOSE OF TAC STRIPS

- 25 REMOVE OH METAL HOODS AND DISPOSE
- 26 REMOVE MECH EQUIP & DISPOSE
- 27 REMOVE EXISTING INCANDESCENT LIGHTS ON WALL—PATCH & REPAIR AS NECESSARY
- 28 REMOVE EXISTING FIRE EXT CABINET—PATCH AND REPAIR WALL AS NECESSARY
- 29 EXISTING FIRE EXT CABINET TO REMAIN
- 30 EXISTING THERMOSTAT SEE MECH SHTS TO DETERMINE IF TO REMOVE OR REMAIN
- 31 COORDINATE NEW OPENING LOCATION W/ THERMOSTAT TO REMAIN (SEE MECH SHTS)
- 32 REMOVE TOWEL & SOAP DISPENSERS & PATCH WALL (SALVAGE TO OWNER)
- 33 REMOVE DATE BOX & CONDUIT, PATCH WALL
- 34 REMOVE EXISTING WIRE MOLD & PATCH WALL
- 35 REMOVE EXISTING CONDUIT & PATCH WALL & CEILING AS REQUIRED
- 36 FIRE ALARM BOX - VERIFY W/ NEW SYSTEM IF TO REMAIN. REMOVE IF NOT REQUIRED
- 37 REMOVE PLUMBING FIXTURE & PIPING, PATCH ALL FLOOR PENETRATIONS TYP. REMOVE PIPING & CAP AT SOURCE.
- 38 PATCH ALL FLOOR PENETRATIONS TYP.
- 39 REMOVE VCT FLOORING, PATCH ALL HOLES AND SAND FLOOR FOR CONC FINISH
- 40 REMOVE ALL CARPET IN BUILDING. CLEAN FLOOR IN ALL AREAS WHERE FINISH FLOOR TO HAVE A CONC FINISH. CLEAN FLOOR THROUGHOUT WHERE NEW CARPET CALLED FOR AS PER CARPET MFR. REQUIREMENTS
- 41 THERMOSTAT REMOVE WITH REMOVAL OF WALL (SEE MECH SHTS)
- 42 PATCH CRACK IN CMU WALL TYP. IN ALL LOCATIONS WHERE CRACKS OCCUR
- 43 REMOVE LECTURE PLATFORM
- 44 REMOVE CLOCK & ELECT BOX PATCH CMU WHERE EXPOSED
- 45 REMOVE OCCUPANCY SIGN
- 46 REMOVE COAT HOOKS, PATCH WALL
- 47 REMOVE FURRED OUT WALL, PATCH ALL HOLES IN CMU FOR FINAL PAINT.
- 48 REMOVE TAC BOARD & DISPOSE. PATCH WALL AS REQUIRED

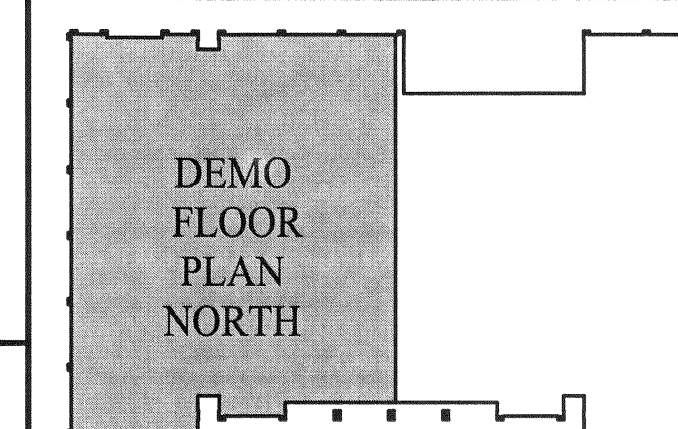
### GENERAL NOTES

- 1 DOORS D1, D2 & D3 TO BE SALVAGED AND RELOCATED, SEE DOOR SCHEDULE G5/A602 FOR EXACT LOCATIONS
- 2 ALL CHALKBOARDS BOARDS TO BE REMOVED AND DISPOSED
- 3 PATCH & REPAIR ALL WALL & FLOOR SURFACES IN PREP FOR NEW SURFACE TREATMENT
- 4 ALL EXISTING FIRE EXTINGUISHER CABINETS TO BE REPAIRED ND PUT IN WORKING ORDER. ALL EXTINGUISHERS TO BE REMOVED BY OWNER PRIOR TO START OF CONSTRUCTION. OWNER WILL PROVIDE EXTINGUISHERS TO BE PLACED IN CABINETS BY CONTRACTOR
- 5 SEE DOOR SCHEDULE AND SPECIFICATIONS FOR DOORS TO BE REMOVED, RELOCATED & HARDWARE TO BE CHANGED TYPICAL
- 6 CONTRACTOR TO SALVAGE ENOUGH CMU TO MATCH CMU TEXTURE AND FILL CMU OPENINGS WHERE INDICATED
- 7 EXISTING CONSTRUCTION DOCUMENTS INDICATE A CONT BOND BEAM IN ALL MASONRY WALLS @ 7'-4" HIGH. IF BOND BEAM IS NOT PRESENT NOTIFY ARCHITECT

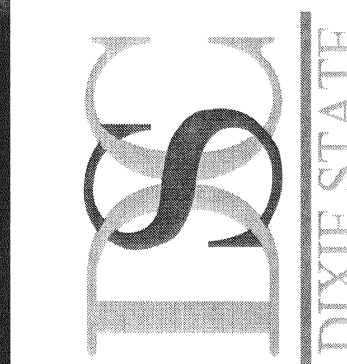
### LEGEND

- EXISTING WALL TO REMAIN
- FRAME WALL TO BE REMOVED
- MASONRY WALL TO BE REMOVED
- NEW MASONRY WALL - SEE FLR. PLANS
- DOOR AND FRAMES TO BE REMOVED AND INFILL WITH NEW MASONRY WALL - A SEE FLR. PLANS
- DOOR AND FRAMES TO BE REMOVED
- EXISTING DOOR TO REMAIN

### KEY PLAN



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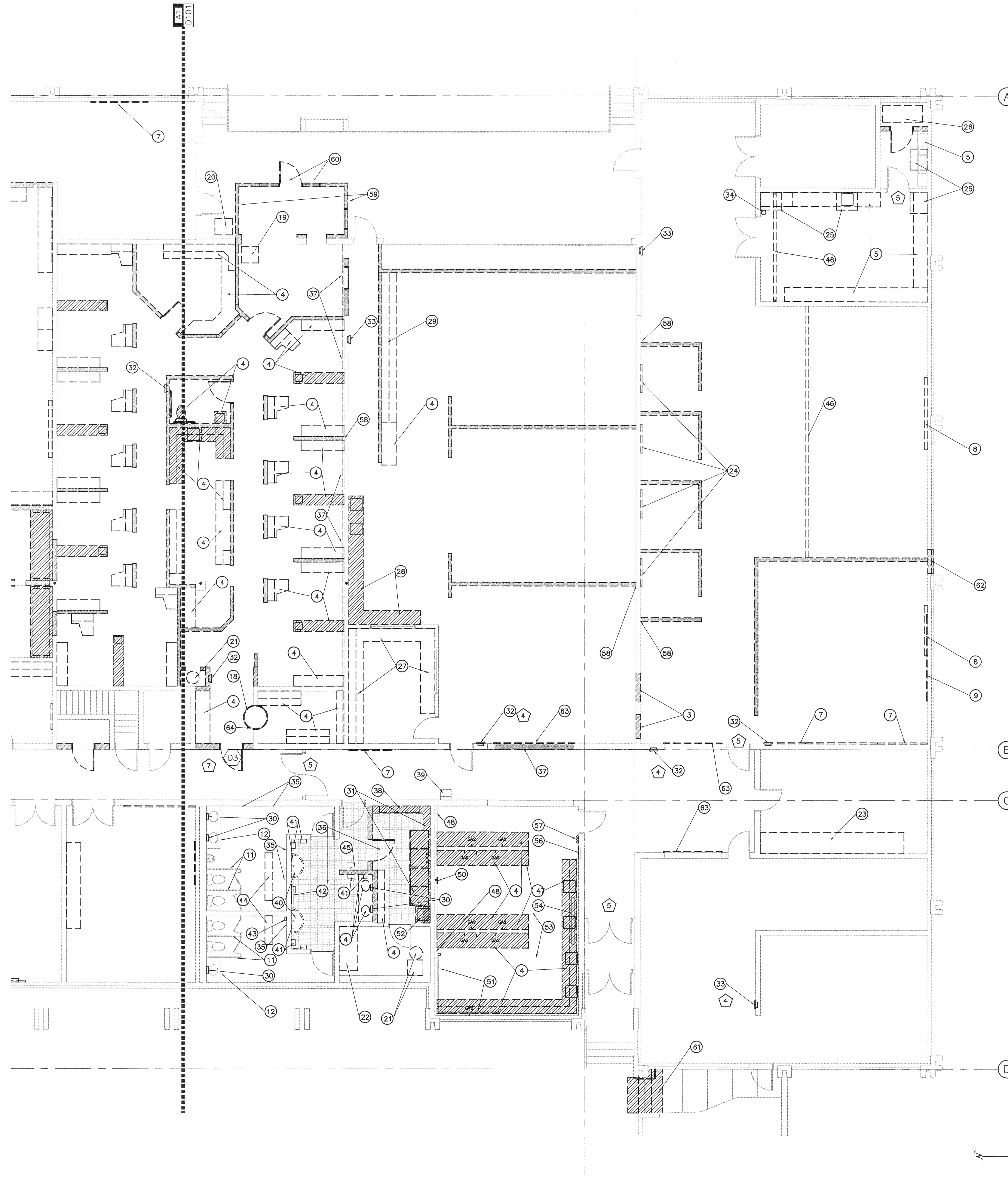
DEMO FLOOR  
PLAN NORTH

SHEET NO.

D101



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A1

# DEMO FLOOR PLAN SOUTH

1/8" = 1'-0"

## KEYNOTES

- REMOVE WIRE MOLD (SEE ELECT. SHTS.)
- REMOVE SINK AND PIPING. CAP ALL DRAINS AND CAP SUPPLY AT SOURCE
- REMOVE VCT FLOORING FOR NEW CARPET. PROVIDE FINISH TO EXCEPT CARPET
- REMOVE WALL MOUNTED PROJECTION SCREEN-SALVAGE TO OWNER
- REMOVE COAT HOOKS - PATCH WALL AS REQUIRED
- REPAIR WITH NEW GLASS EXISTING FIRE EXTINGUISHER CABINET
- REMOVE SURFACE MOUNTED CONDUIT
- PATCH ALL CONNECTIONS BETWEEN REMOVED WALLS AND FLOORS, CEILINGS AND WALLS TO PROVIDE A FINISHED APPEARANCE, TYPICAL
- PATCH AND CLEAN CONC. LOADING DOCK WHERE WALLS ARE REMOVED
- SALVAGE DOOR AND WINDOWS TO OWNER
- REMOVE EXISTING CONCRETE STAIRS AND REQUIRED WALK AND HANDRAIL-PATCH AND REPAIR WALL AND WALK AS NECESSARY IN PREPARATION FOR NEW STAIRS.
- DOOR PART OF ALTERNATE #2
- REMOVE OVERHEAD COIL UP DOOR
- LOCATE NEW DOOR IN EXISTING DARK ROOM OPENING. PATCH & FILL SIDES AS REQ'D

## KEYNOTES

- UPPER CABINETS TO BE REMOVED-MOVE TO PRODUCTION ROOM 105
- LOWER CABINETS & CLOSET CABINET TO BE REMOVED AND DISPOSED
- REMOVE PORTION OF CMU WALL FOR NEW OPENING (SEE FLR PLNS FOR DIM.)
- REMOVE & DISPOSE OF CABINETS-PATCH WALL AND FLOOR AS REQUIRED
- RETAIN IN PLACE
- FILL EXISTING OPENING TO MATCH EXISTING CMU W/SALVAGED CMU
- REMOVE TAC BD. & RELOCATE AS PER A11/A606
- REMOVE SCREEN & RELOCATE AS PER A11/A606
- REMOVE MARKER BOARD & RELOCATE AS PER A11/A606 PATCH WALL AS REQUIRED
- SALVAGE LOCKERS MOVE TO NEW LOCKER RM 185
- REMOVE WC PARTITIONS & GRAB BARS
- REMOVE VANITY (NEW VANITY)
- REMOVE FIBER BOARD ON WALL-PATCH AND REPAIR WALL AS NECESSARY
- RETAIN TROPHY CASE IN PLACE
- RETAIN WHITEBOARD IN PLACE
- REMOVE TAC BD. & DISPOSE PATCH WALL AS REQUIRED
- SALVAGE DARKROOM DOOR TO OWNER
- REMOVE AC UNIT-MOVE TO RM #156
- REMOVE CONDENSER-MOVE TO ROOF OVER RM #156-SEE MECH SHEETS
- REMOVE SUCTION TANK-DELIVER TO COLLEGE
- REMOVE MEDICAL AIR COMP.-DELIVER TO COLLEGE
- RELOCATE TO RM #167-EAST WALL NE CORNER (SEE INT. ELEV.)
- REMOVE & DISPOSE OF TACK STRIPS
- REMOVE OH METAL HOODS AND DISPOSE
- REMOVE MECH EQUIP & DISPOSE
- RETAIN IN PLACE ALL MILLWORK
- REMOVE-SALVAGE TO OWNER
- REMOVE UPPER CABINETS-MOVE TO RM #166
- SEE ELECTRICAL LIGHTING PLAN
- REMOVE & DISPOSE OF CONCRETE BUILDOUT-REPAIR WALL AS NEEDED
- SALVAGE FIRE EXT CABINET & EXT TO OWNER
- FIRE EXT CABINET TO REMAIN (SEE GENERAL NOTE 4)
- FIRE EXT ATTACHED TO WALL TO BE PROVIDED BY OWNER
- WALL HOOKS TO REMOVED, DISPOSE OF & REPAIR WALL AS NECESSARY
- REMOVE ALL FLOOR TILE FROM THESE ROOMS, PATCH & REPAIR FLOOR AS NEEDED
- REMOVE FURRED OUT WALL PATCH AS REQUIRED
- REMOVE SHELF
- REMOVE EWC FTN.
- REMOVE WASH SINKS CAP AND REMOVE PIPES-THIS WALL TO BE FURRED OUT
- REMOVE TOWEL & SOAP DISPENSERS SALVAGE TO OWNER-WALL TO BE FURRED OUT
- REMOVE MIRROR
- REMOVE DEODORIZER PATCH WALL AS REQUIRED
- REMOVE BENCH AND PATCH TILE FLOOR
- REMOVE EYE WASH, REMOVE AND CAP PIPES & PATCH WALL (SEE PLUMBING PLANS)
- REMOVE OVERHEAD TRACK
- REMOVE WATER SUPPLY PIPING & GAS PIPING. REMOVE LINES & CAP AT SOURCE
- FURRED OUT WALL TO BE REMOVED WHERE REQUIRED TO REMOVE PIPING AND REPLACED
- REMOVE DRIER VENTS WATER SUPPLY & POWER BOXES - PATCH WALL AS REQUIRED
- REMOVE GAS VALVES & PIPING, CAP AT SOURCE - REMOVE ACCESS DOOR AND PATCH WALL

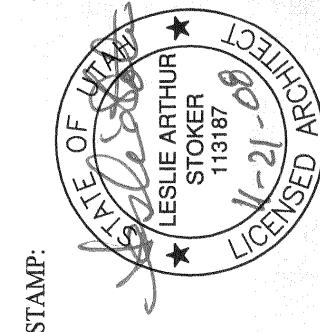
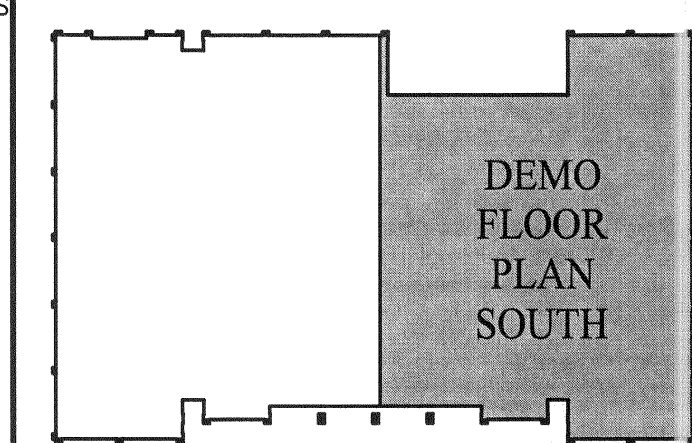
## GENERAL NOTES

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- SEE DOOR SCHEDULE AND SPECIFICATIONS FOR DOORS TO BE REMOVED, RELOCATED & HARDWARE TO BE CHANGED, TYPICAL
- CONTRACTOR TO SALVAGE ENOUGH CMU TO FILL EXISTING CMU OPENINGS WHERE INDICATED.
- EXISTING CONSTRUCTION DOCUMENTS INDICATE A CONT BOND BEAM IN ALL CMU WALLS @ 7'-4" HIGH. IF BOND BEAM IS NOT PRESENT NOTIFY ARCHITECT

## LEGEND

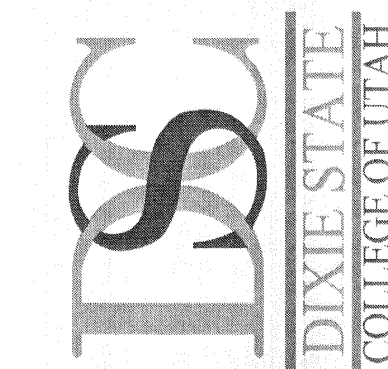
- EXISTING WALL TO REMAIN
- FRAME WALL TO BE REMOVED
- MASONRY WALL TO BE REMOVED
- NEW MASONRY WALL - SEE FLR. PLANS
- DOOR AND FRAMES TO BE REMOVED AND INFILL WITH NEW MASONRY WALL - A SEE FLR. PLANS
- DOOR AND FRAMES TO BE REMOVED
- EXISTING DOOR TO REMAIN

## KEY PLAN



CONSULTING GROUP INC  
architects engineers planners

ST. GEORGE, UT 84770  
PHONE 435-673-4801  
FAX 435-673-4801



DIXIE STATE COLLEGE  
JENNINGS HEALTH & TECHNOLOGY CTR REMODEL  
225 SOUTH 700 EAST  
ST GEORGE, UT 84770

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PROJECT NO. 080338

SHEET  
DEMO FLOOR  
PLAN SOUTH

SHEET NO.

D102





KEYNOTES

1

REMOVE EXISTING LIGHTS

2

REMOVE EXISTING GYP BD CEILING & STRUCTURE.REMOVE LIGHT FIXTURES (SEE ELECT. SHEETS)

3

REMOVE ACOUSTICAL CEILING TILES AND REPLACE WITH NEW TILES IN EXISTING GRID

4

REMOVE EXISTING SUSPENDED CEILING AND SALVAGE LIGHT FIXTURES FOR REUSE - (SEE ELECT SHTS)

5

EXISTING CEILING GRID TO STOP ALONG SOUTH SIDE OF WALL. PATCH AND REPAIR AS REQUIRED FOR NEW CONDITION

6

EXISTING CEILING TO REMAIN

7

DASHED WALL INDICATES WALLS TO BE REMOVED

8

LAY IN CEILING TILE PREVIOUSLY REMOVED EXISTING GRID TO REMAIN & HOLD NEW TILES.

9

EXISTING LIGHT TO REMAIN & TO BE REFURBISHED (SEE SHEET E101)

GENERAL NOTES

1

SALVAGE ALL FLUORESCENT CEILING FIXTURES FOR USE IN NEW CEILING

2

REMOVE AND DISPOSE OF ALL EXISTING ACOUSTICAL CEILING TILES. SOME AREAS OF CEILING HAVE ALREADY BEEN REMOVED. CONTRACTOR TO FAMILIARIZE W/EXISTING CONDITIONS

3

PATCH & REPAIR CEILING AS NECESSARY WHERE DIFFUSERS ARE REMOVED OR REPLACED-SEE MD101

4

REPAIR EXISTING GRID AS REQUIRED

5

VERIFY WHICH EXISTING MECH & ELECT CONDUITS, REGISTERS, & MOUNTING DEVICES SHOULD REMAIN OR BE REMOVED W/ ELECTRICAL & MECHANICAL SHEETS

LEGEND

HATCH DENOTES WHERE EXISTING CEILING GRID IS TO BE REMOVED

HATCH DENOTES EXISTING GYP BD CEILING

KEY PLAN

DEMO REFLECTED CEILING PLAN NORTH

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architects engineers planners  
11-21-08  
LICENSED  
STATE OF UTAH  
LESSA KATHARINA  
119187

ST GEORGE, UT 84770  
PHONE 435-673-4800  
FAX 435-673-4801

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JENNINGS HEALTH & TECHNOLOGY CTR REMODEL  
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ST GEORGE, UT 84770

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PROJECT NO  
08038  
SHEET  
DEMO REFLECTED CEILING PLAN NORTH  
SHEET NO.

D103

A1

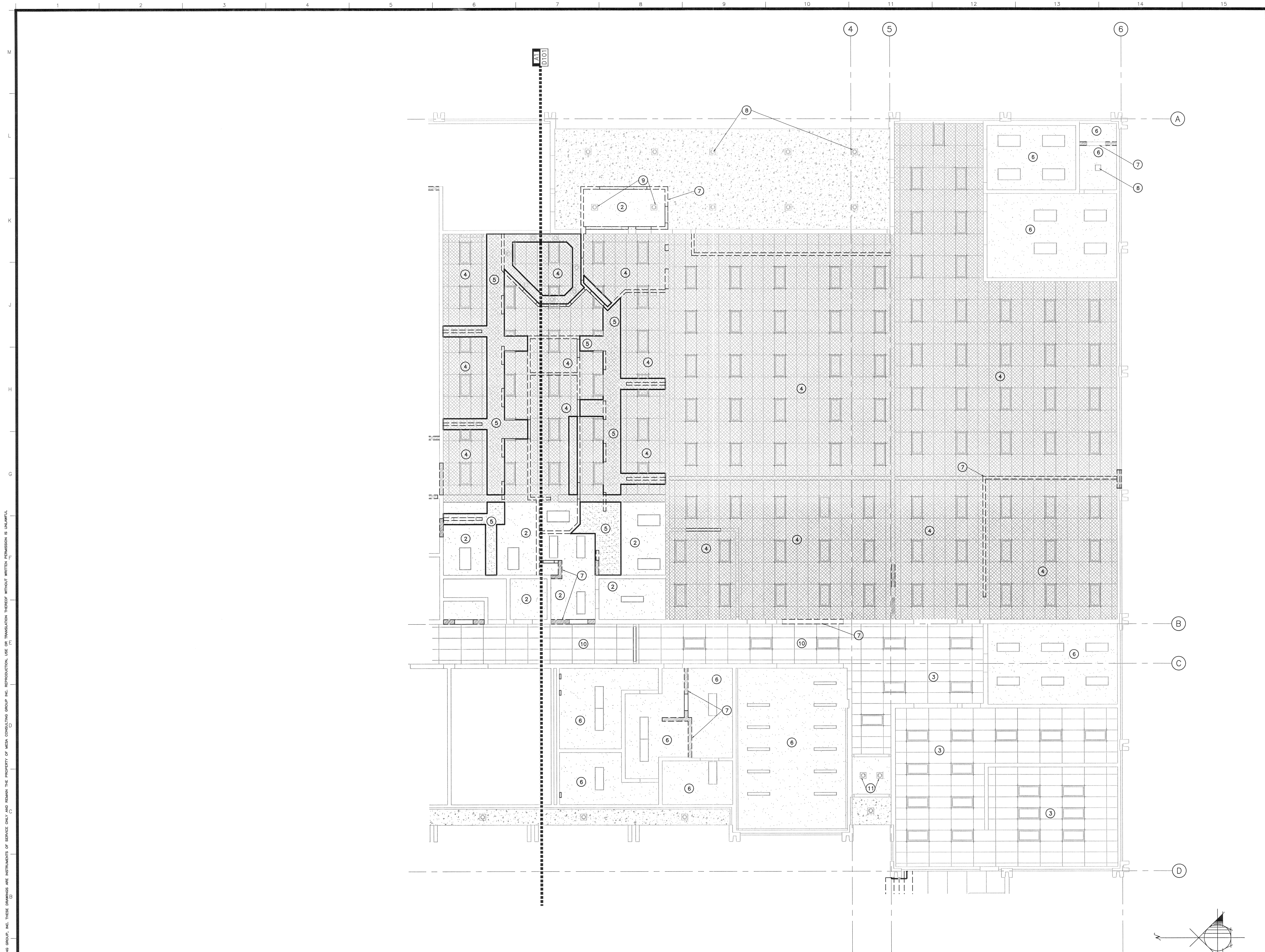
DEMO REFLECTED CEILING PLAN NORTH

1/8" = 1'-0"

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# KEYNOTES

- 1 REMOVE EXISTING LIGHTS
- 2 REMOVE EXISTING GYP BD CEILING & STRUCTURE
- 3 REMOVE ACOUSTICAL CEILING TILES AND REPLACE WITH NEW TILES
- 4 REMOVE EXISTING SUSPENDED CEILING AND SALVAGE LIGHT FIXTURES FOR REUSE - SEE ELECT SHTS
- 5 REMOVE GYP BD SOFFIT AND FRAMING
- 6 EXISTING CEILING TO REMAIN
- 7 DASHED WALL INDICATES WALLS TO BE REMOVED
- 8 EXISTING LIGHT FIXTURE TO REMAIN
- 9 REPAIR EXISTING FIXTURE AS REQUIRED
- 10 LAY IN CEILING TILE PREVIOUSLY REMOVED, EXISTING GRID TO REMAIN & HOLD NEW TILES
- 11 EXISTING FIXTURE TO REMAIN & TO BE REFURBISHED (SEE SHEET E102)

# GENERAL NOTES

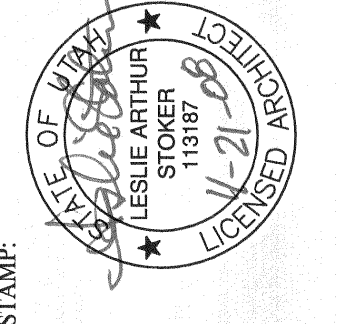
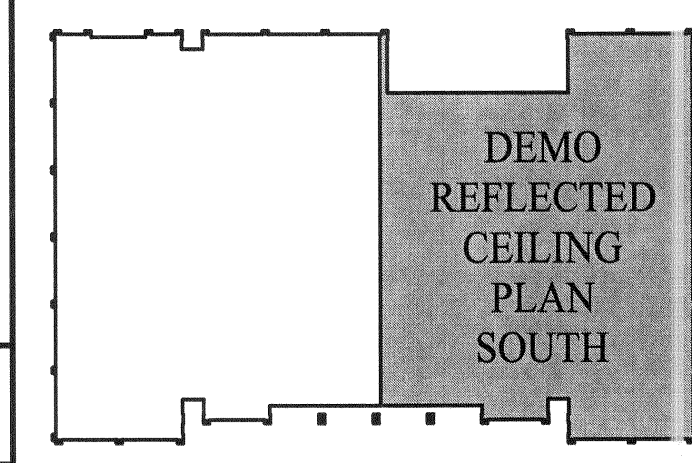
- 1 SALVAGE ALL FLOURESCENT CEILING FIXTURES FOR USE IN NEW CEILING
- 2 REMOVE AND DISPOSE OF ALL EXISTING ACOUSTICAL CEILING TILES. SOME AREAS OF CEILING HAVE ALREADY BEEN REMOVED. CONTRACTOR TO FAMILIARIZE W/EXISTING CONDITIONS
- 3 PATCH & REPAIR CEILING AS NECESSARY WHERE DIFFUSERS ARE REMOVED OR REPLACED-SEE MD101
- 4 REPAIR EXISTING GRID AS REQUIRED
- 5 VERIFY WHICH EXISTING MECH & ELECT CONDUITS, REGISTERS, & MOUNTING DEVICES SHOULD REMAIN OR BE REMOVED W/ ELECTRICAL & MECHANICAL SHEETS

# LEGEND

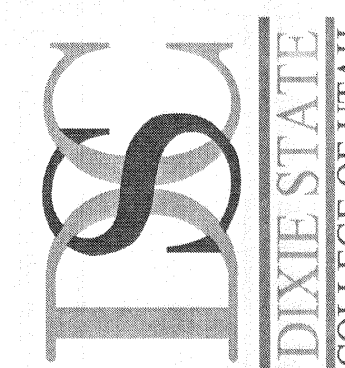
HATCH DENOTES WHERE EXISTING CEILING GRID IS TO BE REMOVED

HATCH DENOTES EXISTING GYP BD CEILING

# KEY PLAN



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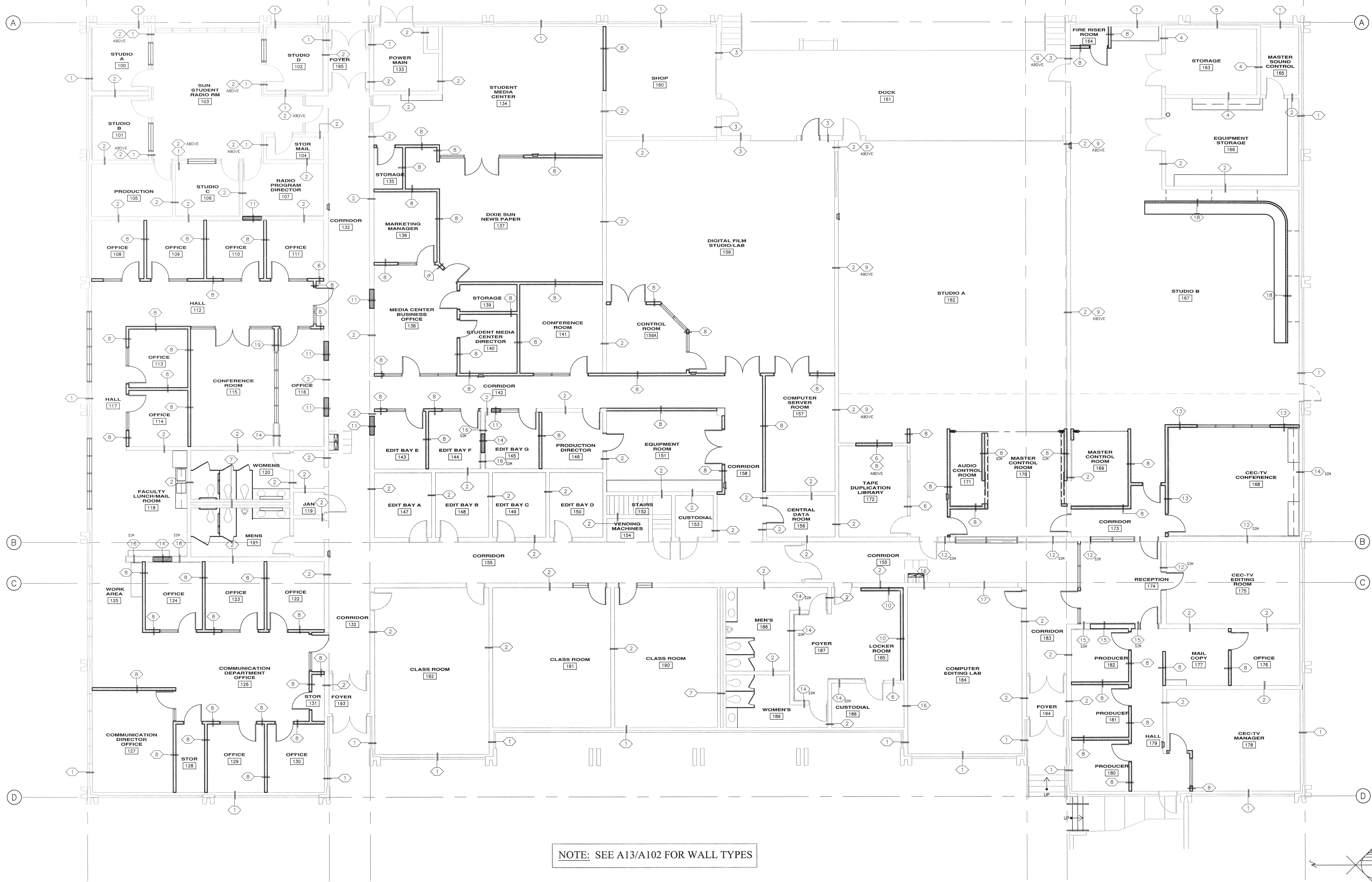
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REFLECTED  
CEILING PLAN  
SOUTH

SHEET NO.

D104



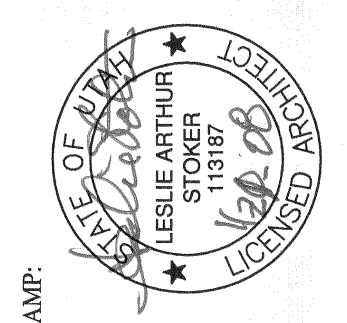
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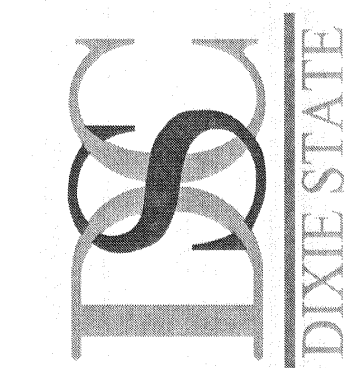
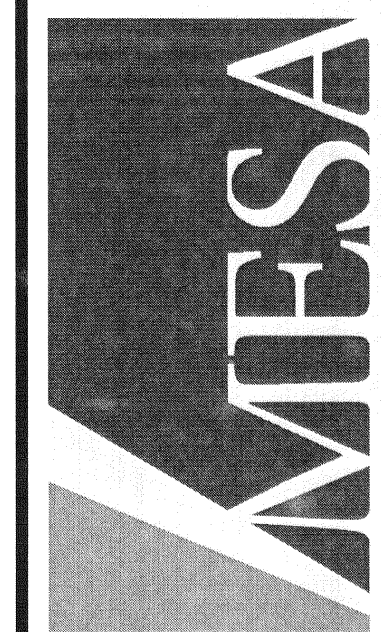
NOTE: SEE A13/A102 FOR WALL TYPES

# A1 WALL TYPE FLOOR PLAN

1/8" = 1'-0"



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WALL CALL  
OUTS

SHEET NO.

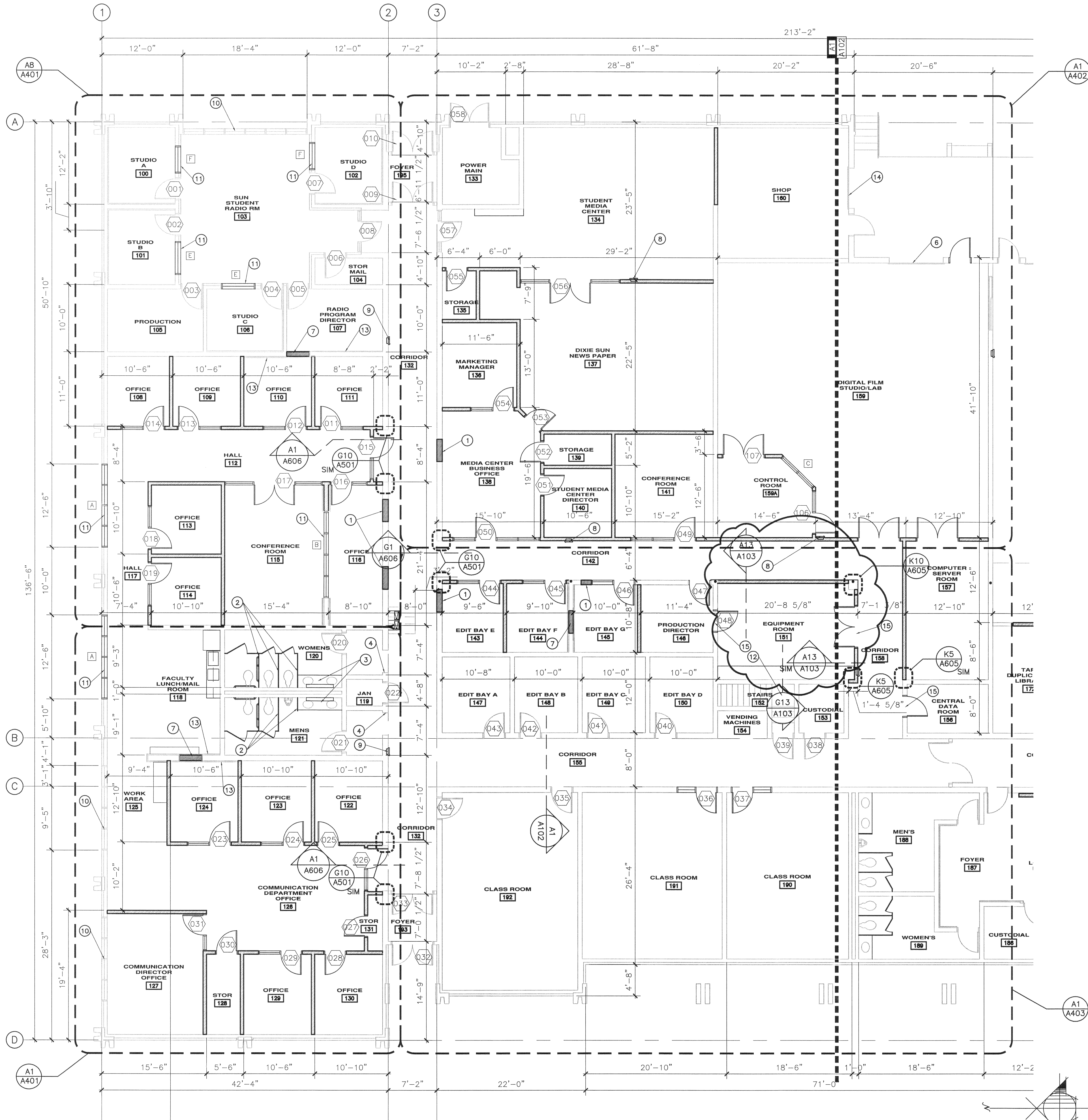
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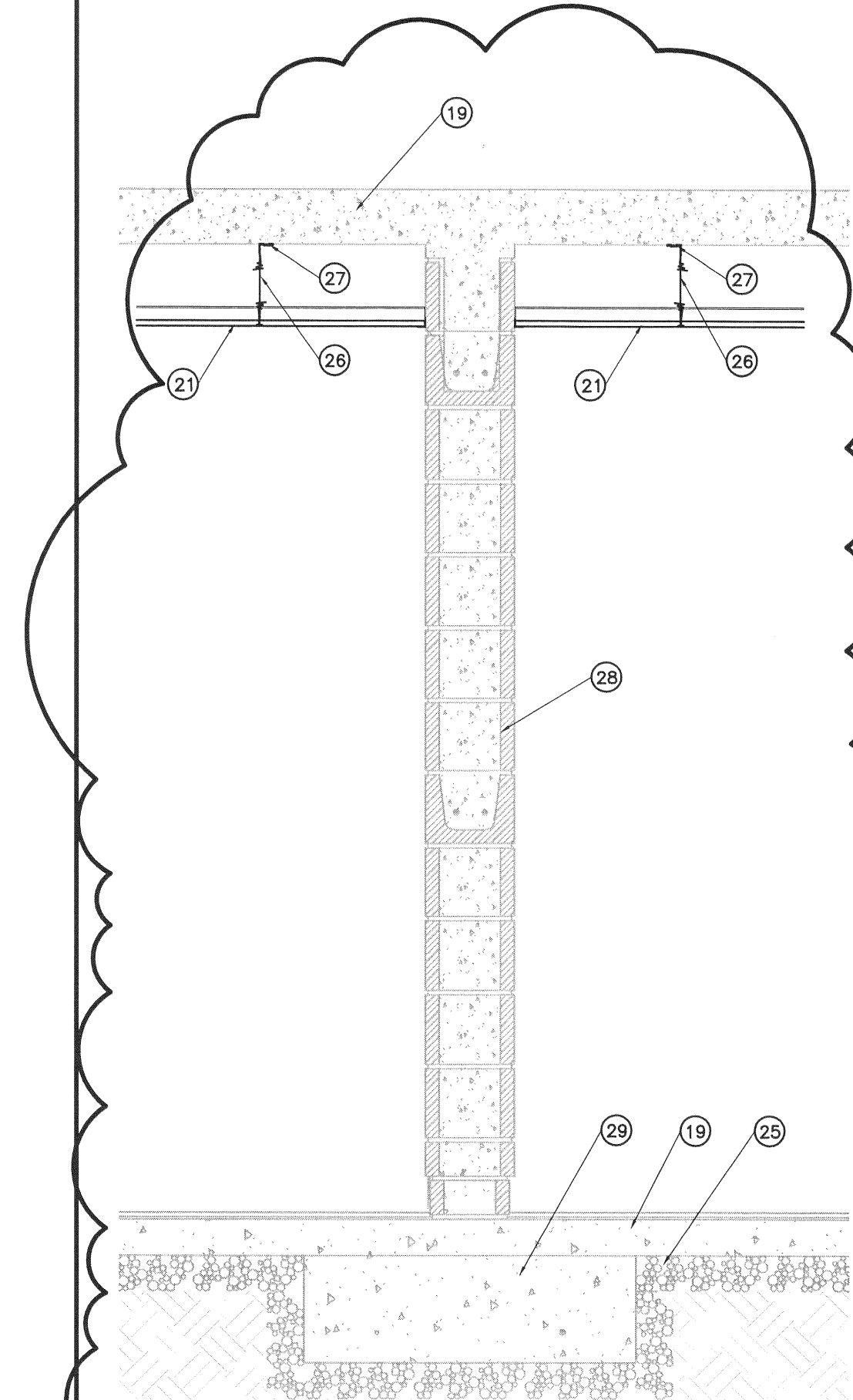


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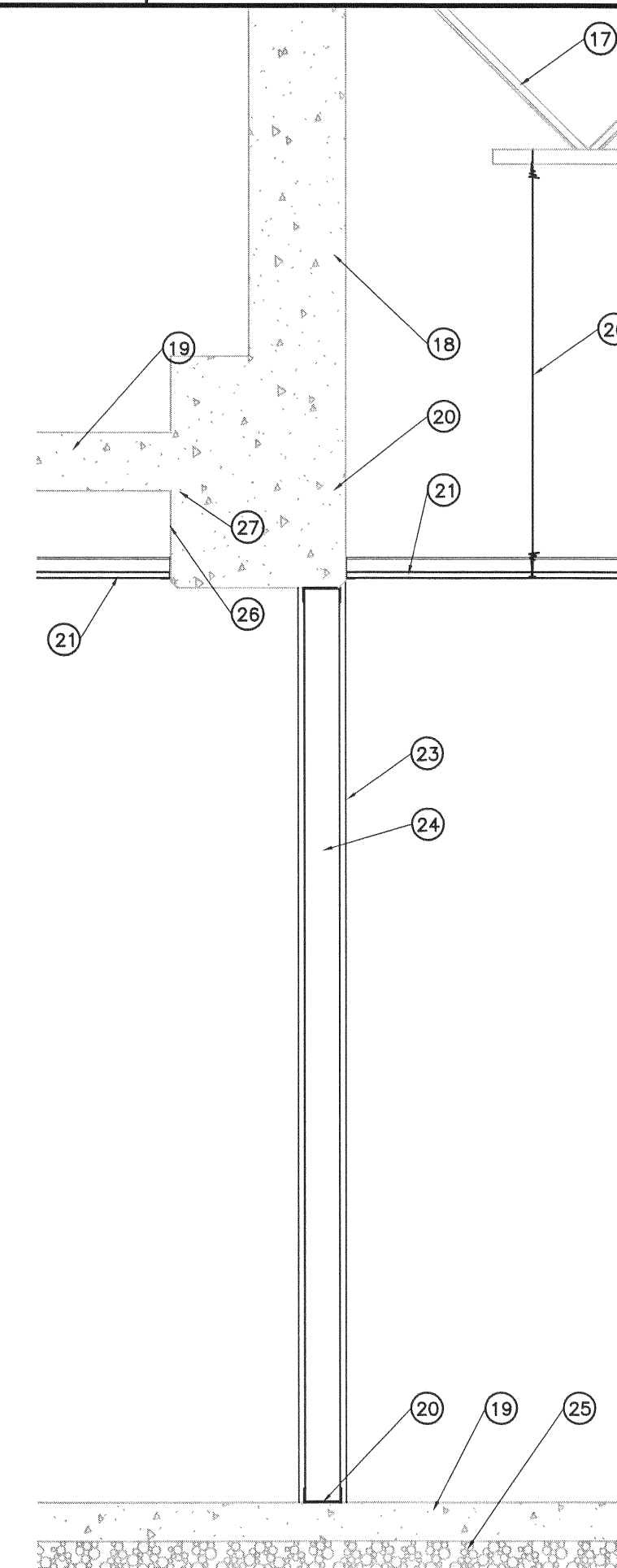
**A1** FLOOR PLAN

1/8" = 1'-0"



**G13** WALL SECTION

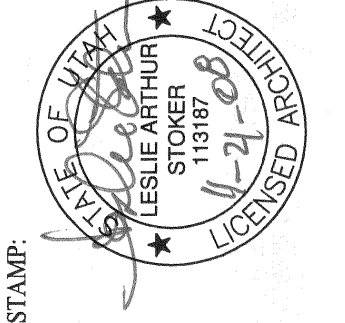
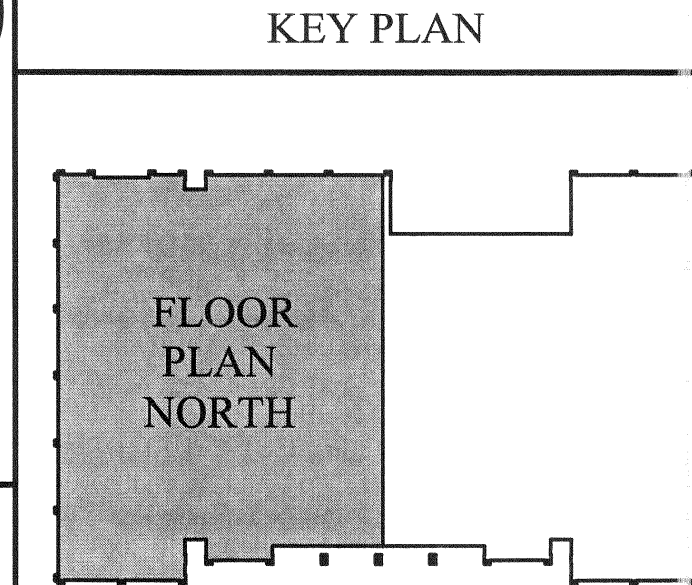
3/4" = 1'-0"



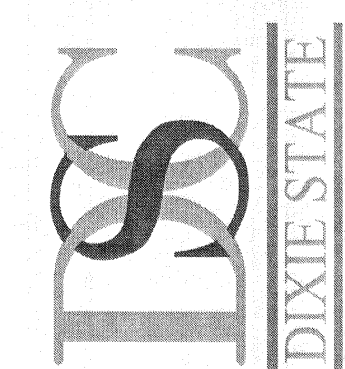
**A13** WALL SECTION

3/4" = 1'-0"

- KEYNOTES**
- 1 INFILL EXISTING OPENING W/ SALVAGED CMU TO MATCH EXISTING CMU FOR TEXTURE AND PATTERN AT THIS LOCATION.
  - 2 REPLACE EXISTING WC PARTITIONS W/ NEW PARTITIONS-ENSURE WC IS ADA COMPLIANT
  - 3 REPLACE EXISTING VANITY W/ NEW VANITY
  - 4 REMOVE EXISTING DOORS & FRAME. REPAIR WALLS AS NECESSARY
  - 5 COIL UP DOOR TO BE REMOVED
  - 6 EXISTING COIL UP DOOR TO BE UNCOVERED AND REPAIR AS NEEDED
  - 7 INFILL EXISTING OPENING WITH CMU AND COVER BOTH SIDES WITH 5/8" GYP BD PAINTED THE LENGTH OF THE ENTIRE WALL SURFACE- SEE WALL TYPES A13/A102
  - 8 NEW FIRE EXT CABINET-OWNER TO PROVIDE EXTINGUISHER
  - 9 EXISTING FIRE EXT CABINET-OWNER TO PROVIDE EXTINGUISHER
  - 10 EXISTING WINDOW TO REMAIN
  - 11 NEW WINDOW- SEE WINDOW SCHEDULE
  - 12 STAIRS TO MECHANICAL SPACE-SEE ME401
  - 13 NEW 5/8" GYP BD ON "Z" STRIPS @ 16" OC OVER EXISTING CMU & NEW STUD WALL
  - 14 EXISTING COIL UP DOOR TO BE SERVICED & PUT IN WORKING ORDER
  - 15 DOOR EQUIPPED W/SMOKE GASKETS (SEE SPECS)
  - 16 EXISTING STEEL DECK
  - 17 EXISTING JOIST
  - 18 EXISTING CONCRETE WALL
  - 19 EXISTING CONCRETE SLAB
  - 20 3 1/2" 3625162-33 STRUCTURAL STEEL STUD @ 16" OC
  - 21 NEW LAY-IN ACOUSTICAL CEILING
  - 22 WIRE HANGER FASTENED TO CONC
  - 23 5/8" GYP BD
  - 24 3 1/2" 3625162-33 STRUCTURAL STEEL STUD @ 16" OC
  - 25 EXISTING CRUSHED GRAVEL
  - 26 12 GA VERT WIRES @ 4'-0" OC FASTENED TO TRUSS (SEE SPECS FOR INSTALLATION)
  - 27 CEILING CLIP FASTENED TO CONC
  - 28 EXISTING CMU WALL
  - 29 EXISTING FOOTING



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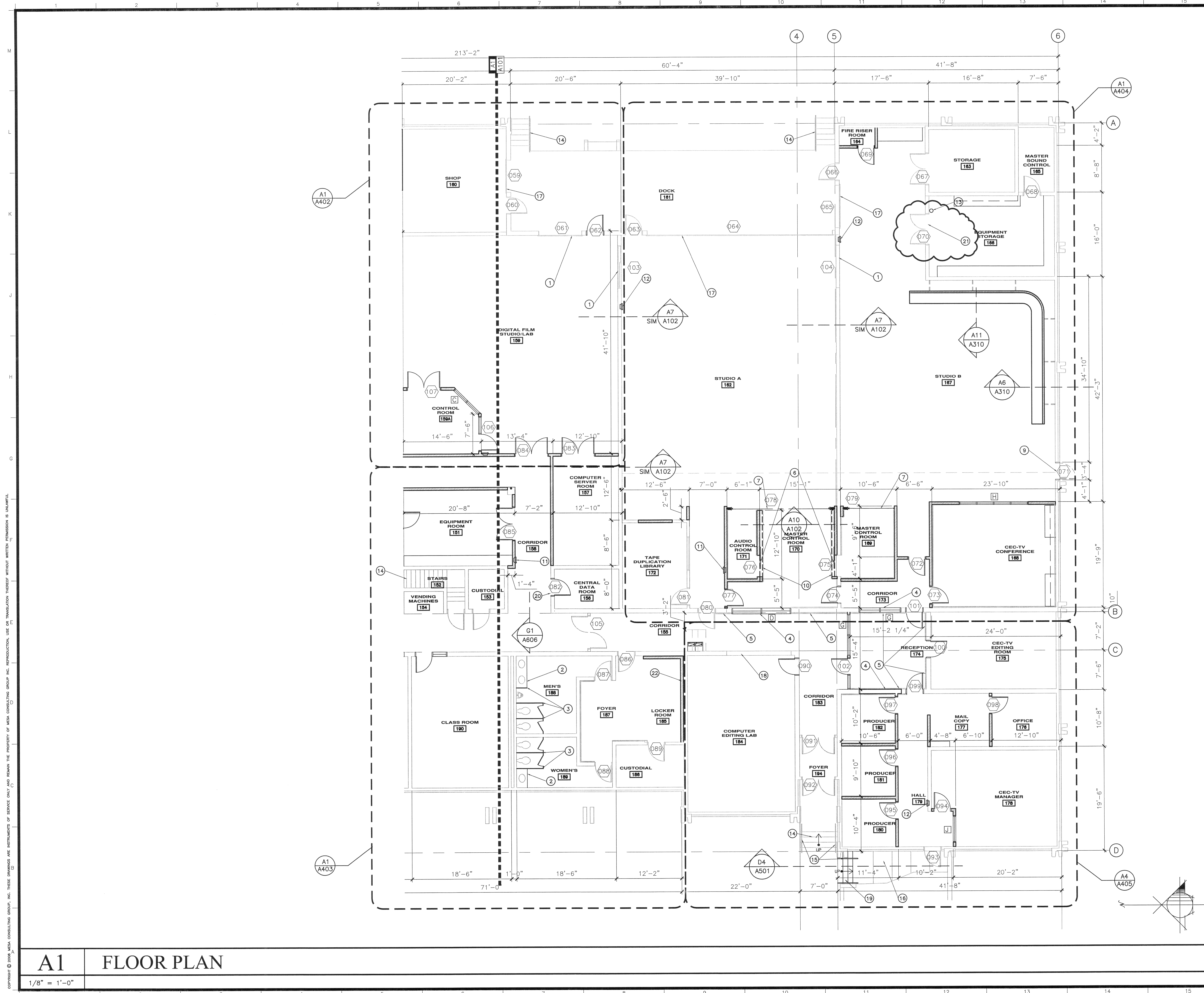
SHEET

FLOOR PLAN  
NORTH

SHEET NO.

A103





- ### KEYNOTES
- EXISTING COIL UP DOOR TO BE UNCOVERED, SERVICED AND REPAIRED AS NEEDED
  - REPLACE EXISTING VANITY W/ NEW VANITY & COUNTER (SEE K7/A501)
  - REPLACE EXISTING WC PARTITION W/ NEW PARTITIONS (SEE ENLARGED PLAN)
  - REMOVE EXISTING COIL UP DOOR
  - NEW WOOD PANELING (SEE INTERIOR ELEVATIONS)
  - EXPOSED SLIDING DOOR (SEE DOOR SCHEDULE)
  - FOLD-UP ACCORDION DOOR
  - 
  - DOOR 071 IS PART OF ALT. #2
  - LINE OF WALL OVERHEAD- SEE A10/A102
  - NEW FIRE CABINET-OWNER TO SUPPLY EXTINGUISHER
  - EXISTING FIRE EXT CABINET TO REMAIN. EXTINGUISHER SUPPLIED BY OWNER
  - EXISTING FIRE EXT ATTACHED TO WALL. OWNER TO SUPPLY EXTINGUISHER
  - EXISTING STAIRS TO REMAIN
  - EXISTING HAND/GUARD RAIL
  - EXISTING SIDEWALK- SLOPED TOWARDS STAIRS 1/30
  - EXISTING COIL UP DOOR TO BE SERVICED AND REPAIRED TO BE PUT IN WORKING ORDER
  - EXISTING COIL UP DOOR TO REMAIN COVERED & NOT USED
  - NEW CONCRETE STAIR & RAILING (SEE A5/A104)
  - EXISTING OPENING W/ NEW DOOR. PATCH & FILL OPENING IF REQUIRED OR CUT & REMOVE WALL AS REQUIRED
  - APPLY NEW SMOKE GASKET TO EXISTING DOOR (SEE SPECS)
  - NEW FRAME WALL

### KEY PLAN

**FLOOR PLAN SOUTH**

**A104**

11/21/2008  
PROJECT NO. 08038  
SHEET NO. A104

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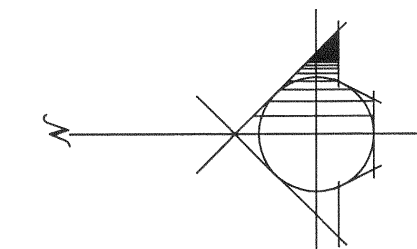
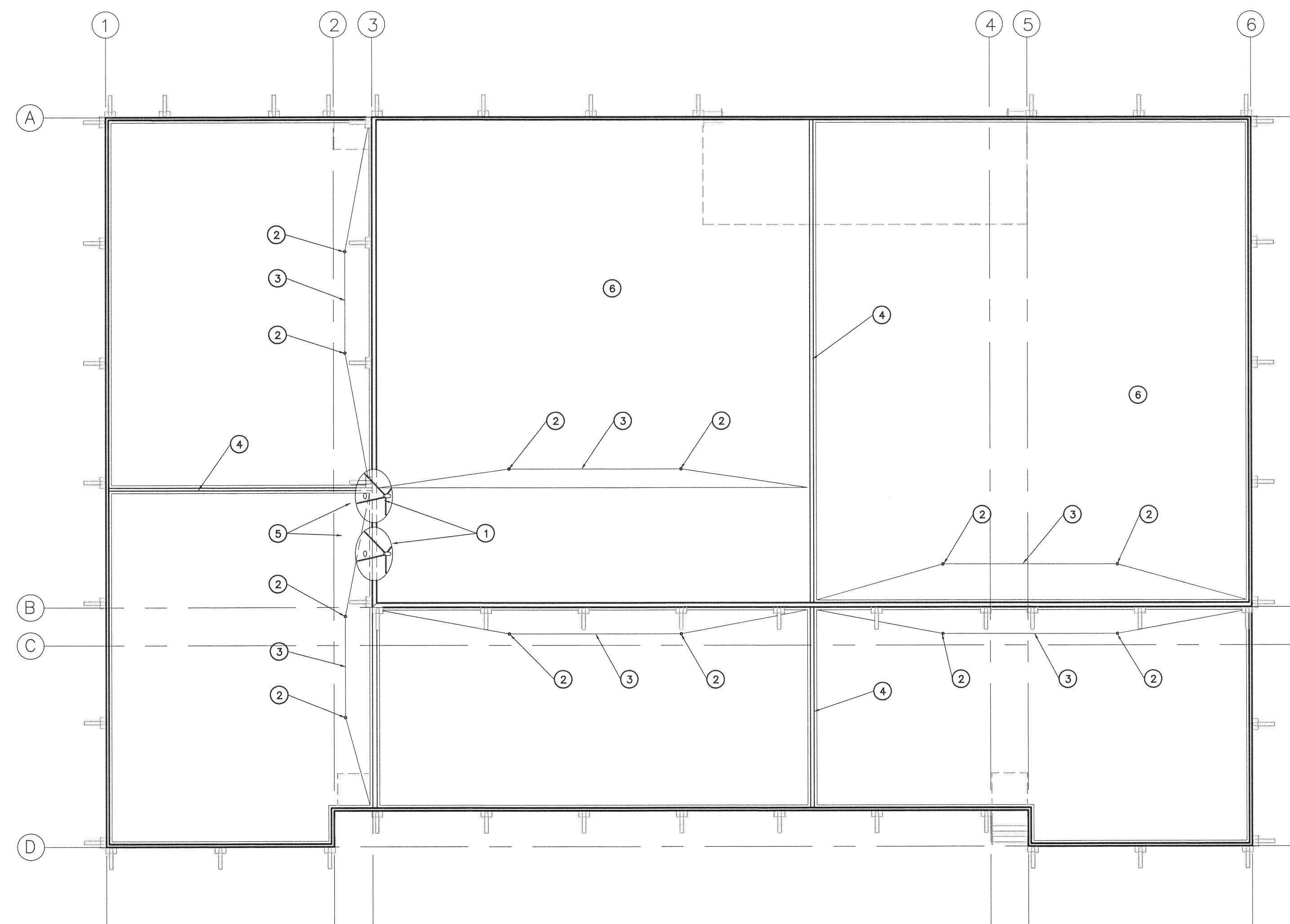
**DIXIE STATE COLLEGE OF UTAH**

**DIXIE STATE COLLEGE**  
JENNINGS HEALTH & TECHNOLOGY CTR REMODEL  
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STATE OF UTAH  
ARCHITECT  
113187  
11/21/08  
LICENSED

33 N. MAIN STREET  
ST. GEORGE, UT 84770  
PHONE 435-673-4801  
FAX 435-673-4801

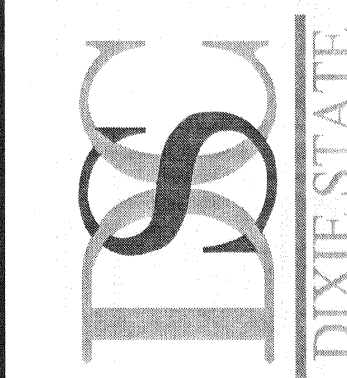




## KEYNOTES

- ① NEW DISH ANTENNA LOCATION
- ② EXISTING ROOF DRAIN
- ③ EXISTING ROOF CRICKET
- ④ EXISTING ROOF EXPANSION JOINT
- ⑤ LOCATION OF ANTENNAS — MOUNT TO CONC. PARAPET BY OWNER
- ⑥ SINGLE PLY ROOF MEMBRANE

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ST GEORGE, UT 84770

## GENERAL NOTES

- 1 ANY NEW ROOF PENETRATIONS TO BE  
PITCHED ACCORDING TO EXISTING ROOFING  
MFR WARRANTY & REQUIREMENTS -SEE  
MECH SHEETS & ELECTRICAL SHEETS

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11/21/2008

PROJECT NO.  
08038

SHEET

## ROOF PLAN

SHEET NO.

A105

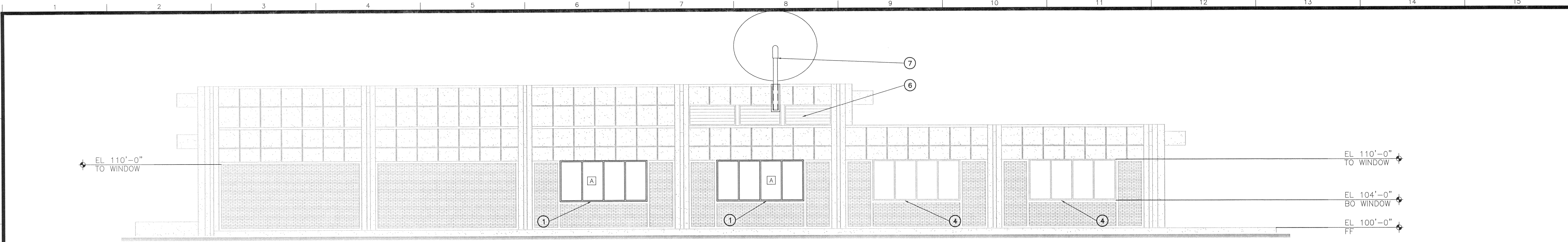
A1

## ROOF PLAN

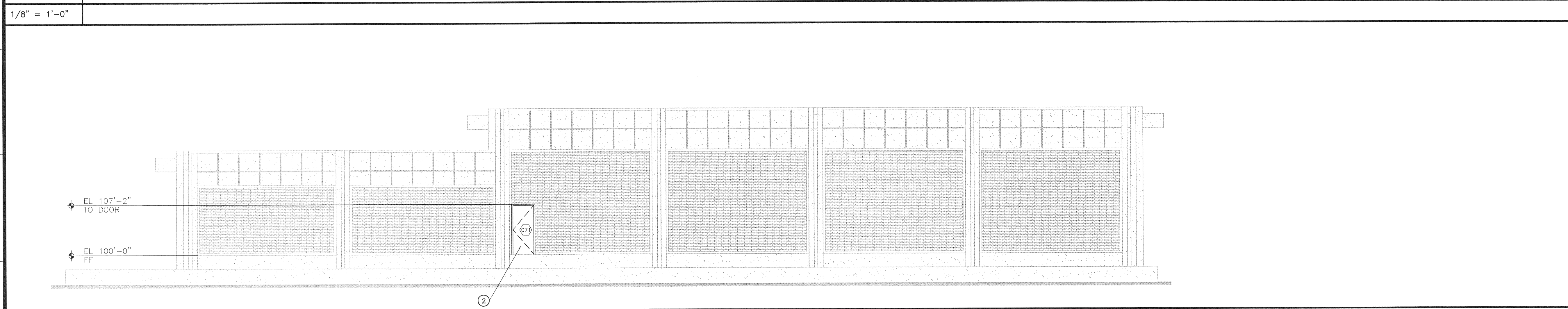
$$1/16'' = 1'-0''$$



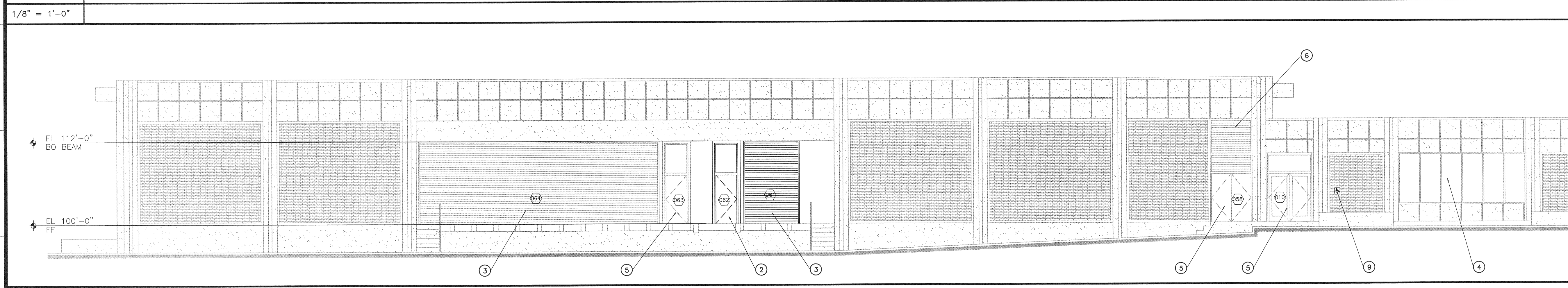
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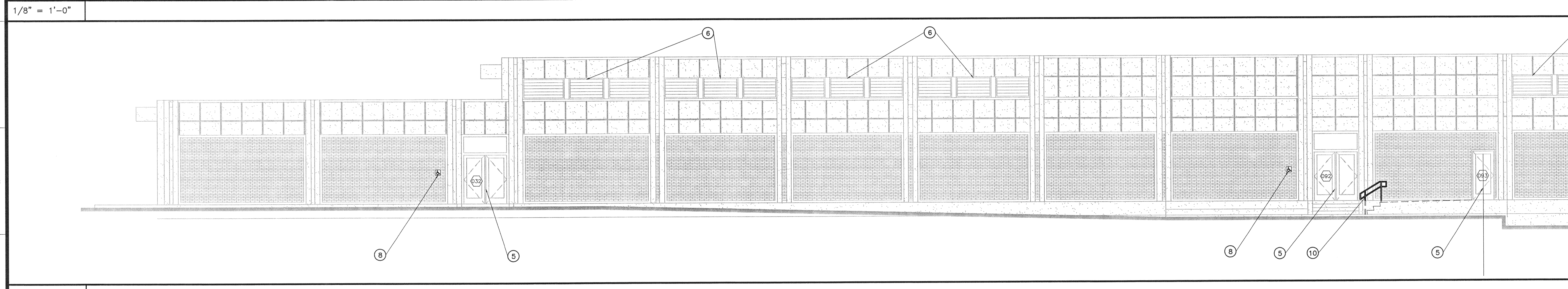
**K1** NORTH ELEVATION



**G1** SOUTH ELEVATION



**D1** EAST ELEVATION



**A1** WEST ELEVATION

- KEY NOTES**
- 1 NEW WINDOW—SEE WINDOW SCHEDULE
  - 2 NEW DOOR—SEE DOOR SCHEDULE (PART OF ALT. #2)
  - 3 EXISTING ROLL-UP DOOR — SEE DOOR SCHEDULE
  - 4 EXISTING WINDOW— SEE WINDOW SCHEDULE
  - 5 EXISTING DOOR— SEE DOOR SCHEDULE
  - 6 EXISTING LOUVERS (SEE MECH SHTS)
  - 7 AREA FOR FUTURE DISHES AND ANTENNA TO BE PLACED BY OWNER
  - 8 EXISTING ADA DIRECTIONAL SIGN TO REMAIN
  - 9 NEW ADA ACCESSIBILITY SIGN
  - 10 NEW SCHED 40 PIPE HANDRAIL @ NEW CONC STEPS BEHIND PLANTER—SEE K4—A501
  - 11 EXISTING HOLLOW METAL DOORS & HOLLOW METAL DOOR & WINDOW FRAMES TO BE REPAINTED

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ARCHITECT  
LESLIE ARTHUR  
13187  
LICENSED

**REVISIONS**

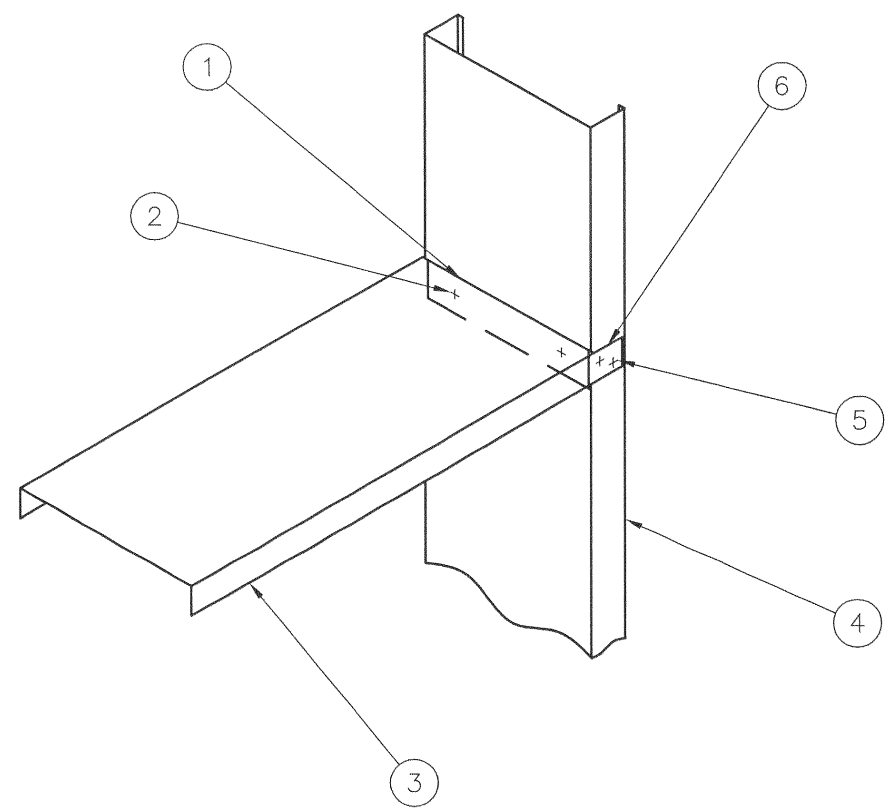
**DATE** 11/21/2008  
**PROJECT NO.** 08038

**SHEET** EXTERIOR ELEVATIONS

**SHEET NO.** A201



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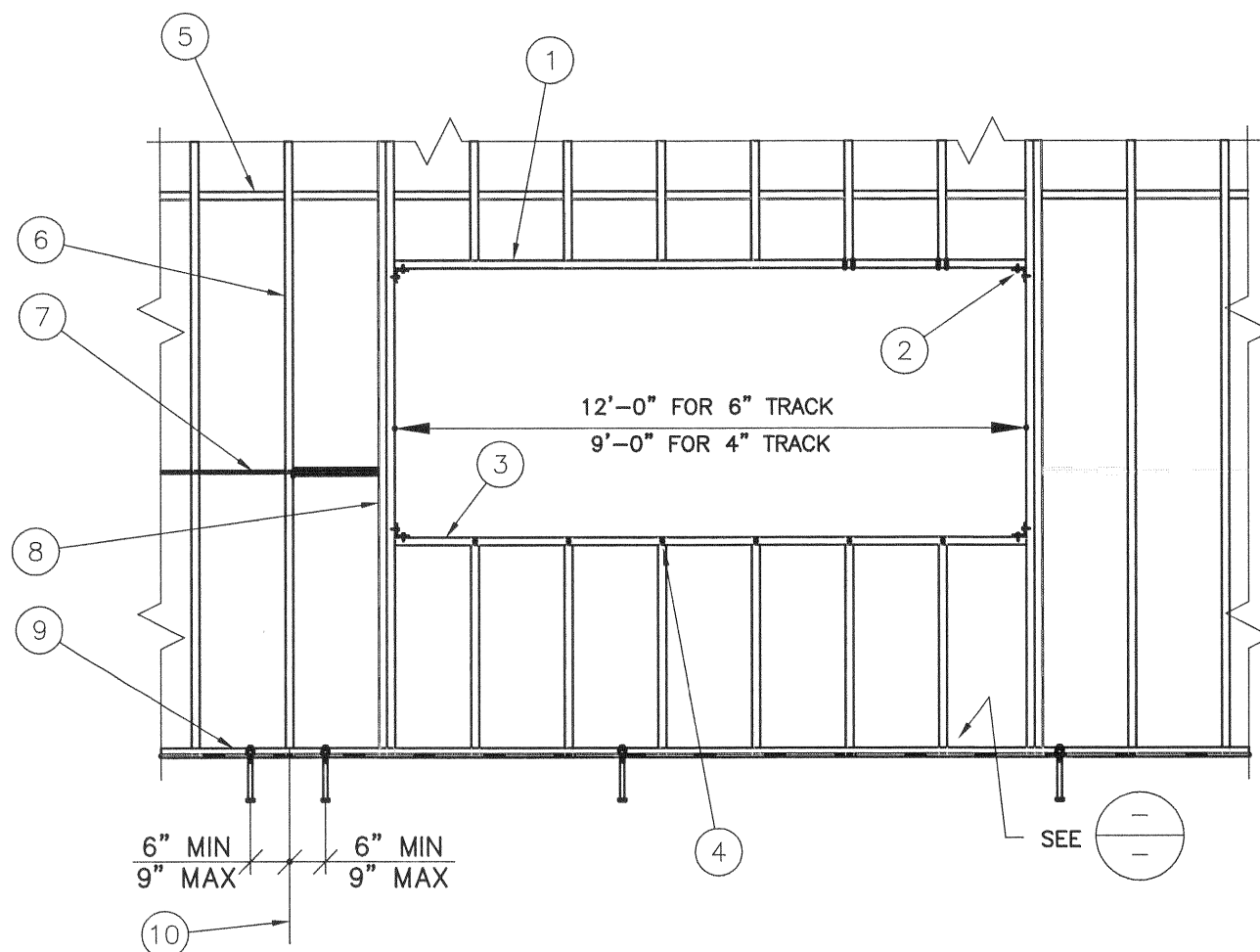


#### KEYNOTES

- 1 BEND PORTION OF WEB DOWN AND FASTEN TO JAMB
- 2 (2) #10 (UNO)
- 3 TRACK
- 4 JAMB
- 5 (2) #8 EA SIDE (UNO)
- 6 CUT TRACK 7 BEND TO ALLOW EXTENSION OF FLANGES FOR CONNECTION

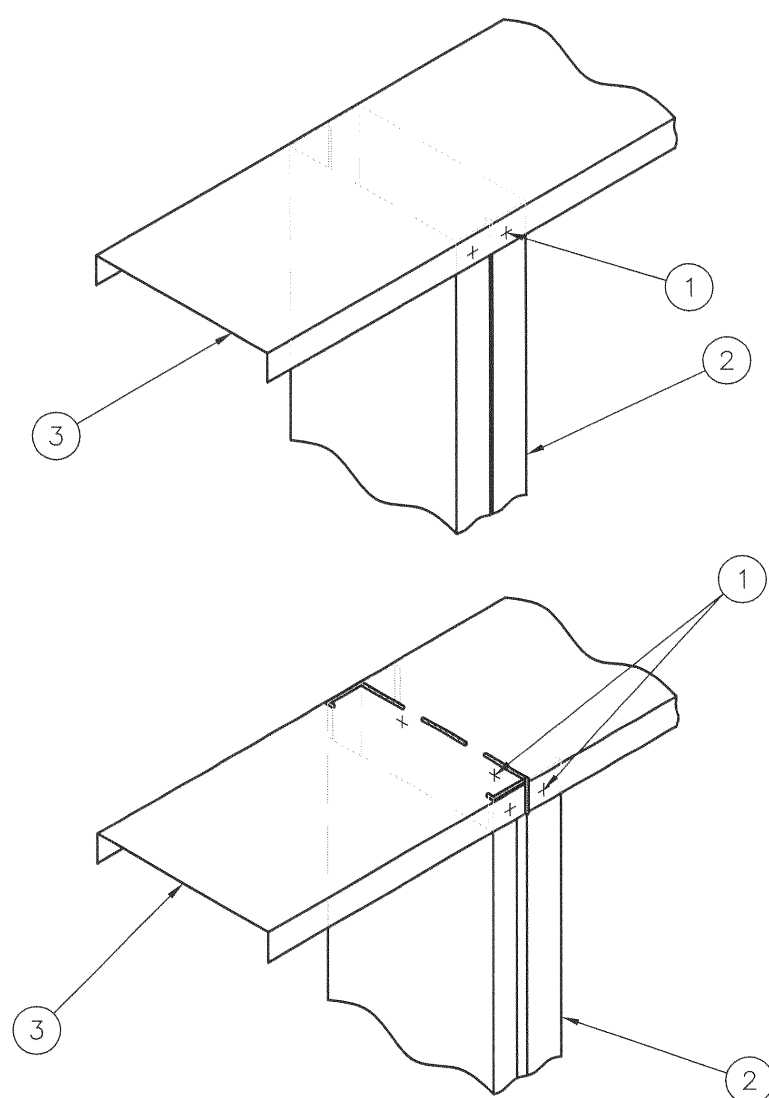
#### GENERAL NOTES

- 1 INVERT DETAILS FOR HEAD CONDITIONS



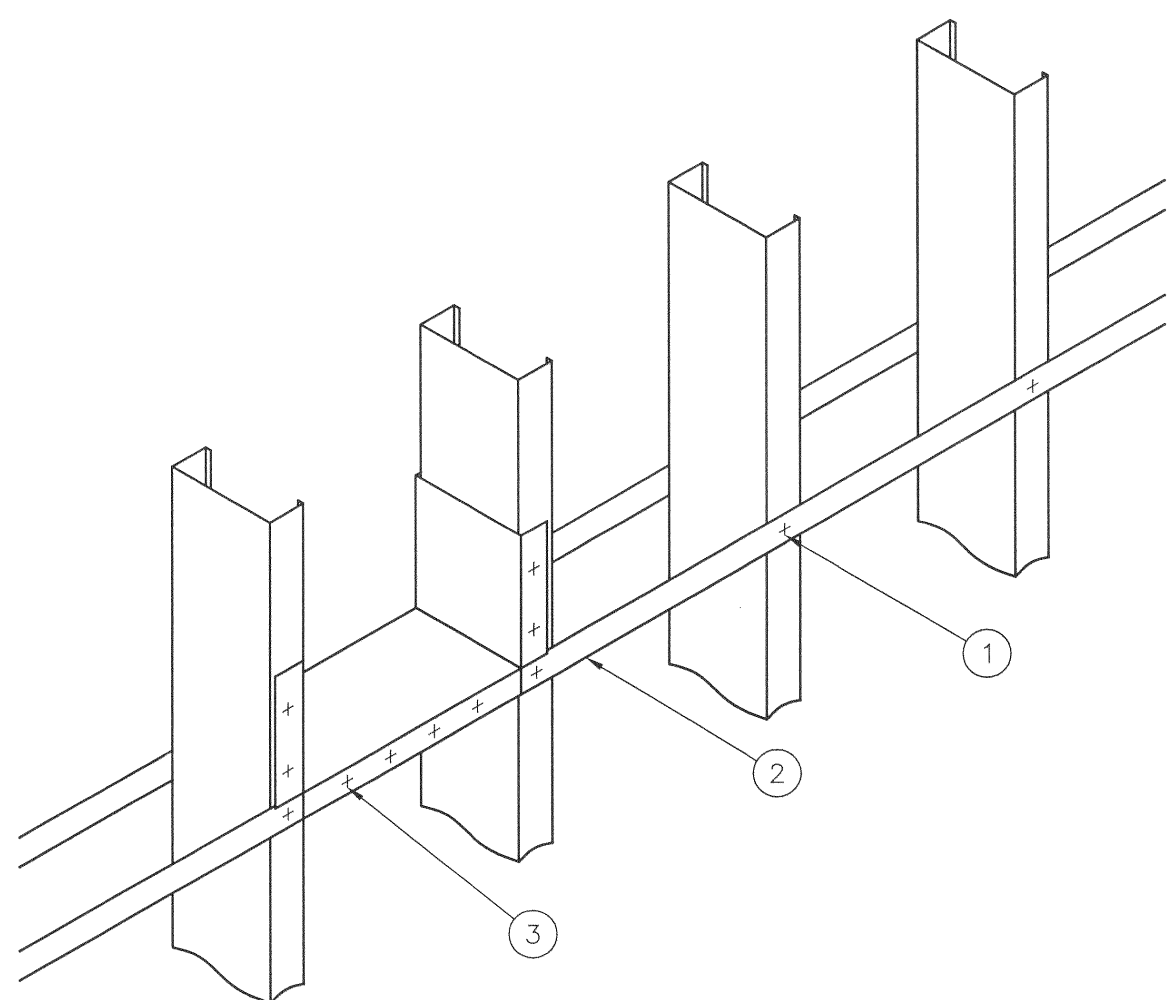
#### KEYNOTES

- 1 HEADER PER XX/XXX
- 2 L2x2x16 GA W/ 3-#8 SMS-TYP UNO
- 3 16 GA TRACK
- 4 #8 SMS ES TYP UNO
- 5 METAL STUD BLKG @ PANEL JOINTS TYP
- 6 METAL STUDS PER ARCH DWGS @ 16\"/>



#### KEYNOTES

- 1 SCREWS AS REQUIRED
- 2 MULTIPLE MEMBERS AS REQUIRED @ JAMB
- 3 TOP TRACK OR DISTRIBUTION MEMBER

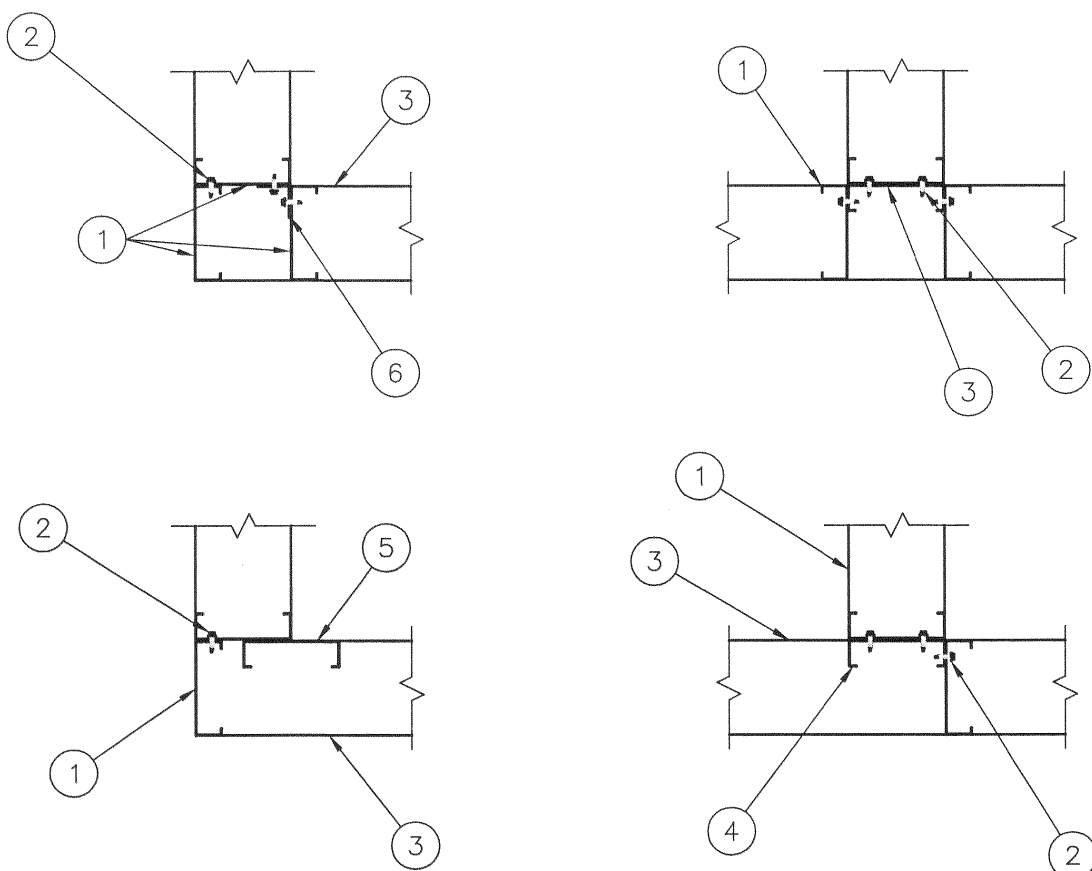


#### KEYNOTES

- 1 SCREWS AS REQUIRED @ EACH STUD
- 2 FLAT STRAPS (NOTCHED CHANNEL OR X-BRIDGING OR PROPRIETARY BRIDGING EACH SIDE)
- 3 SCREWS AS REQUIRED (EACH SIDE)

#### GENERAL NOTES

- 1 WALL SHALL BE BRACED BY PROPERLY ATTACHED SHEATHING ON EACH FLANGE OR ROWS OF BRIDGING NOT EXCEEDING 5'-0\"/>

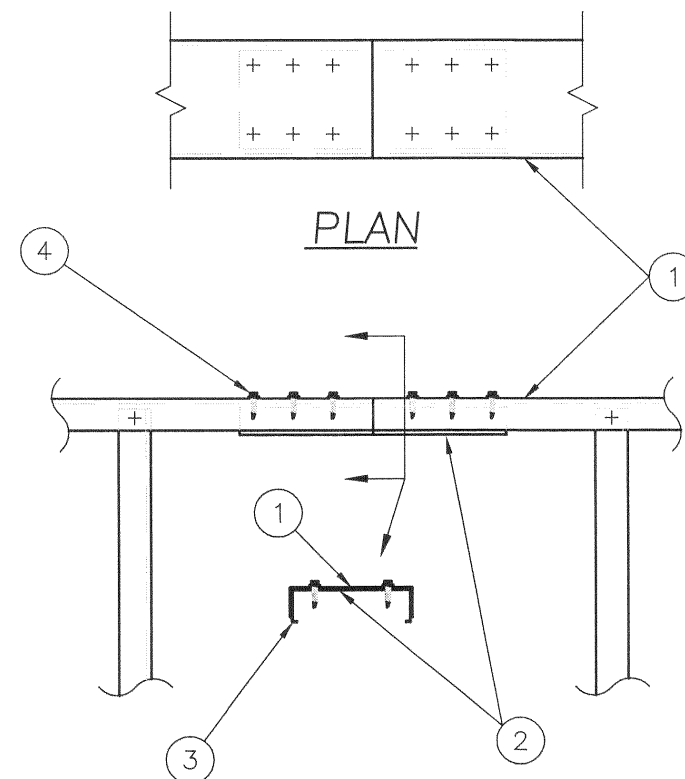


#### KEYNOTES

- 1 TYP STUD
- 2 #8 SMS @ 12\"/>

#### GENERAL NOTES

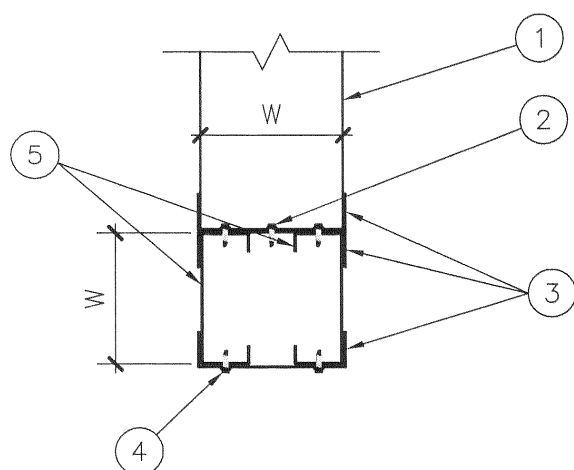
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#### KEYNOTES

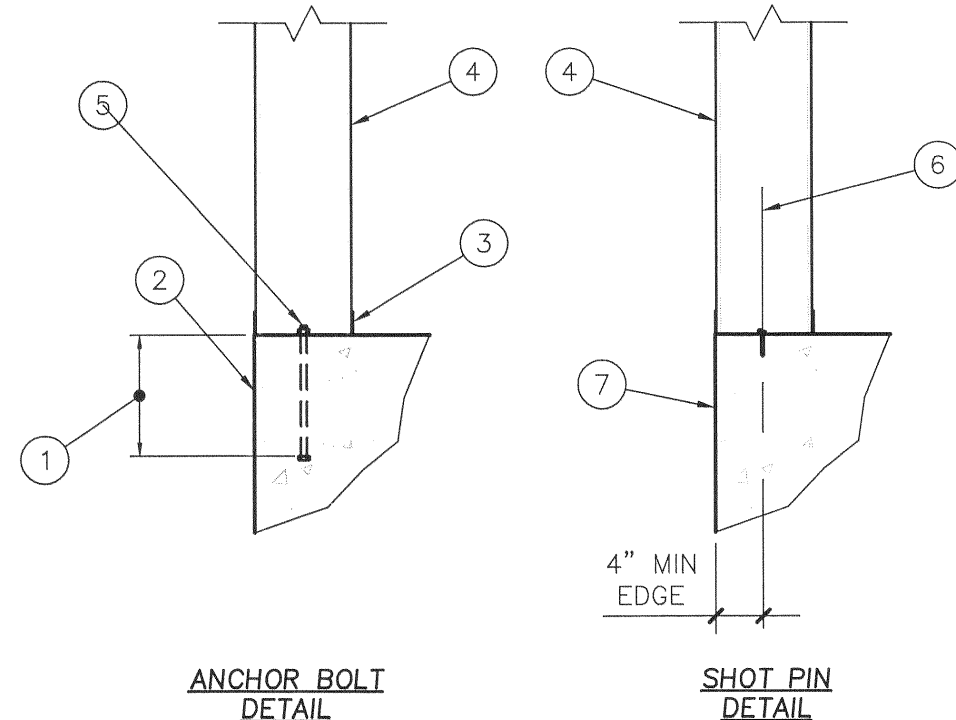
- 1 TOP TRACK
- 2 INSERT SAME SIZE AS STUDS TO MATCH TRACK GAUGE
- 3 USE 14GA TRACK @ 14XHD STUD SPLICE (DRAG STRUT)
- 4 (6) #10 SCREWS EA SIDE SPICE TYP (UNO)

WALL HEADER SCHEDULE		
MAX WIDTH	HEADER	SHAPE
3'-0"	1 TRACK	
6'-0"	2 TRACKS & 1 STUD	
12'-0"	3 TRACKS & 2 VERT STUDS	



#### KEYNOTES

- 1 METAL STUDS PER DWG's
- 2 (2) #8 SMS @ 12\"/>

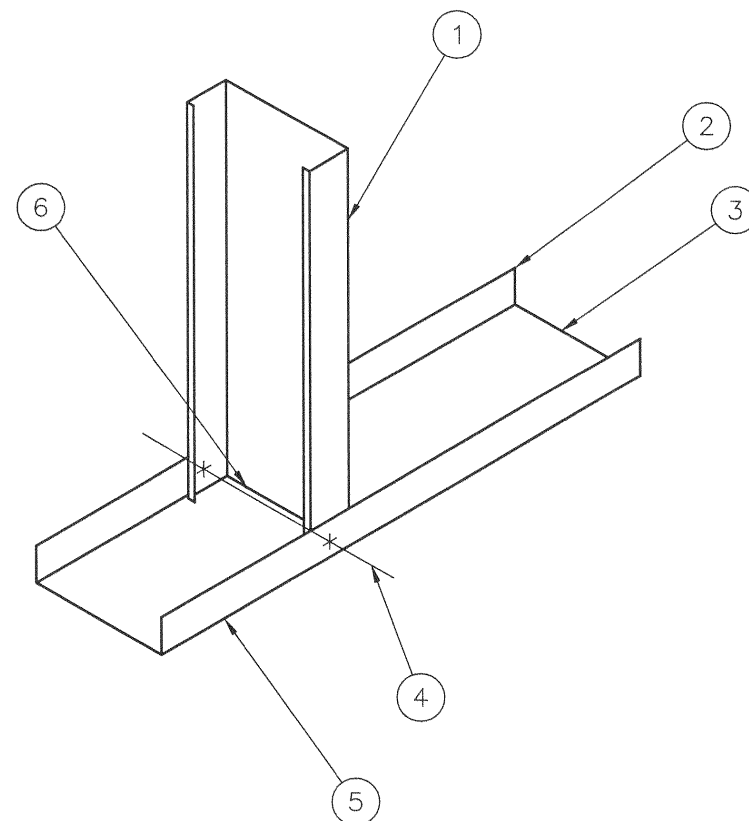


#### KEYNOTES

- 1 10\"/>

#### GENERAL NOTES

- 1 POWER DRIVEN FASTENERS CANNOT BE USED IN A DOUBLE POUR SYSTEM.



#### KEYNOTES

- 1 STUD
- 2 TRACK FLANGE
- 3 TRACK WEB
- 4 1-#8 TEK SCREW EA SIDE TO TRACK, TYPICAL
- 5 CONT SILL TRACK
- 6 STUD MUST FIT TIGHT AGAINST TRACK WEB BEFORE BEING SCREWED

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TYPICAL  
STRUCTURAL  
DETAILS

SHEET NO.

A301

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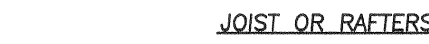
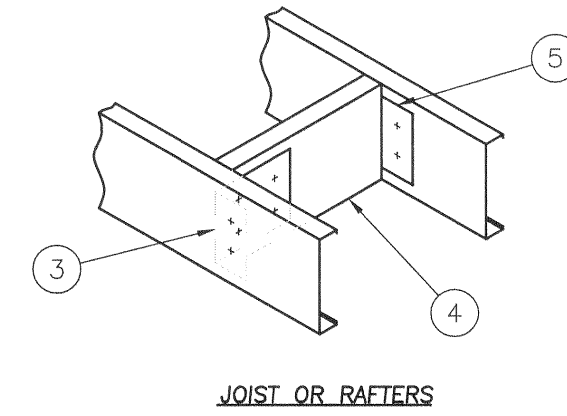
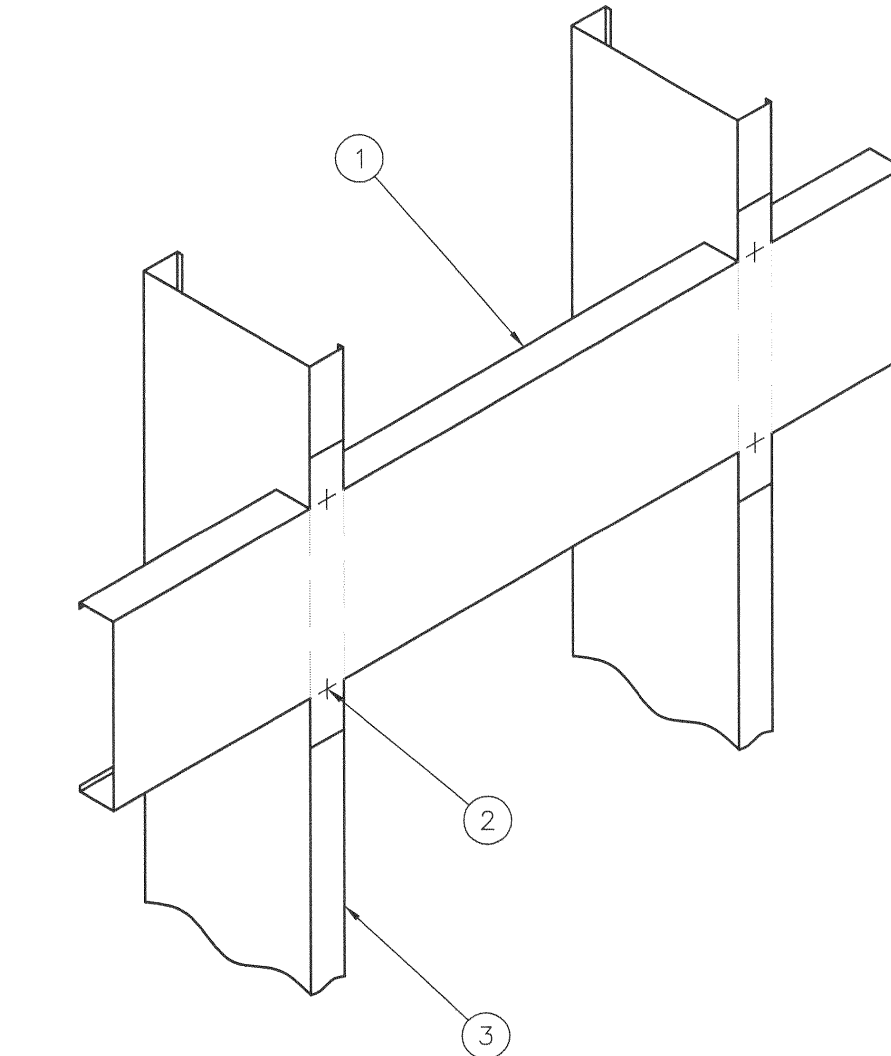
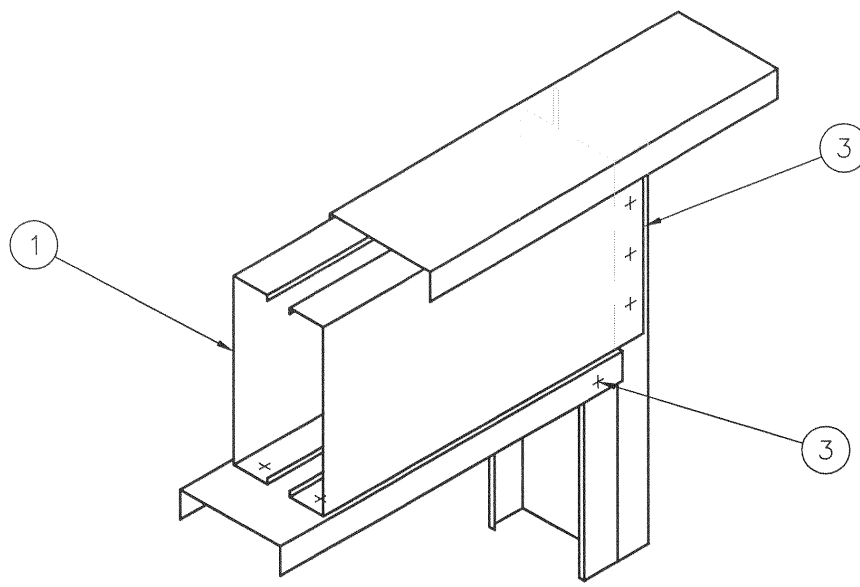
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STAMP

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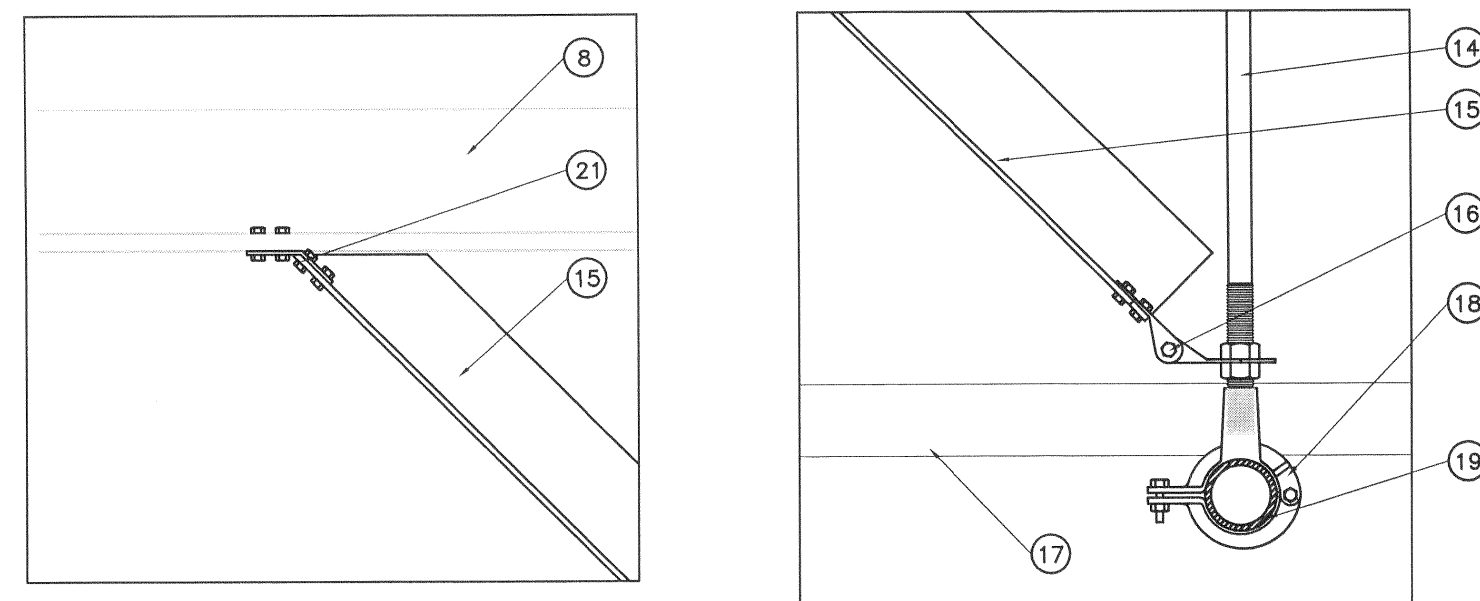
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ST GEORGE, UT 84770  
PHONE 435-673-4601  
FAX 435-673-4601





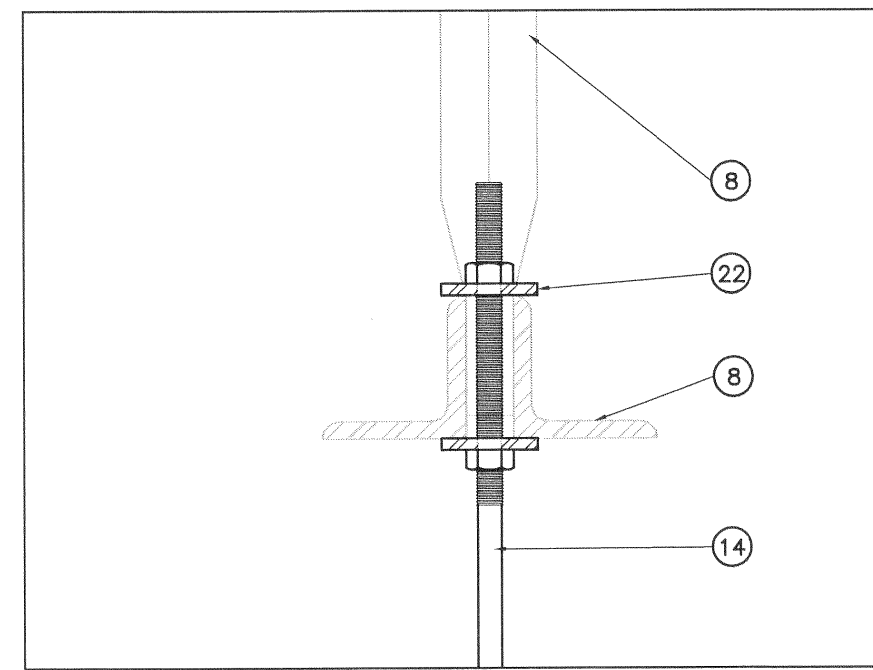
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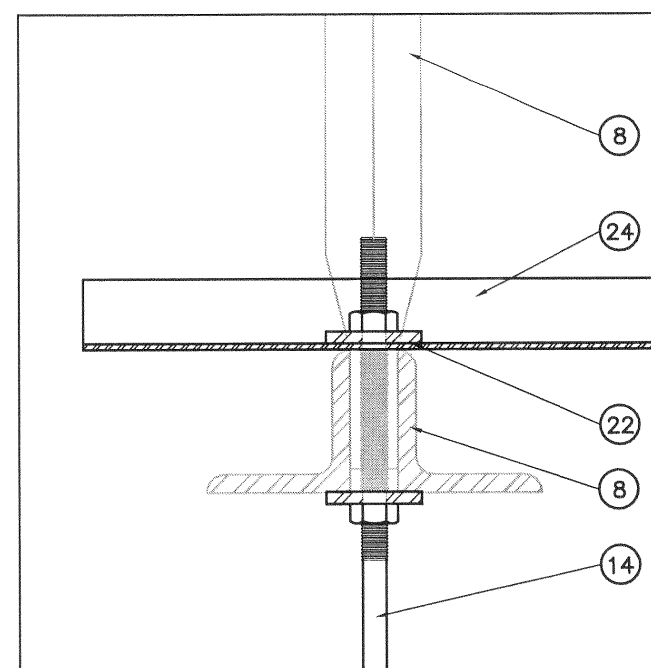
K1	DETAIL
----	--------

3" = 1'-0" | LIGHT GRID CONNECTION TO ROD & PIPE



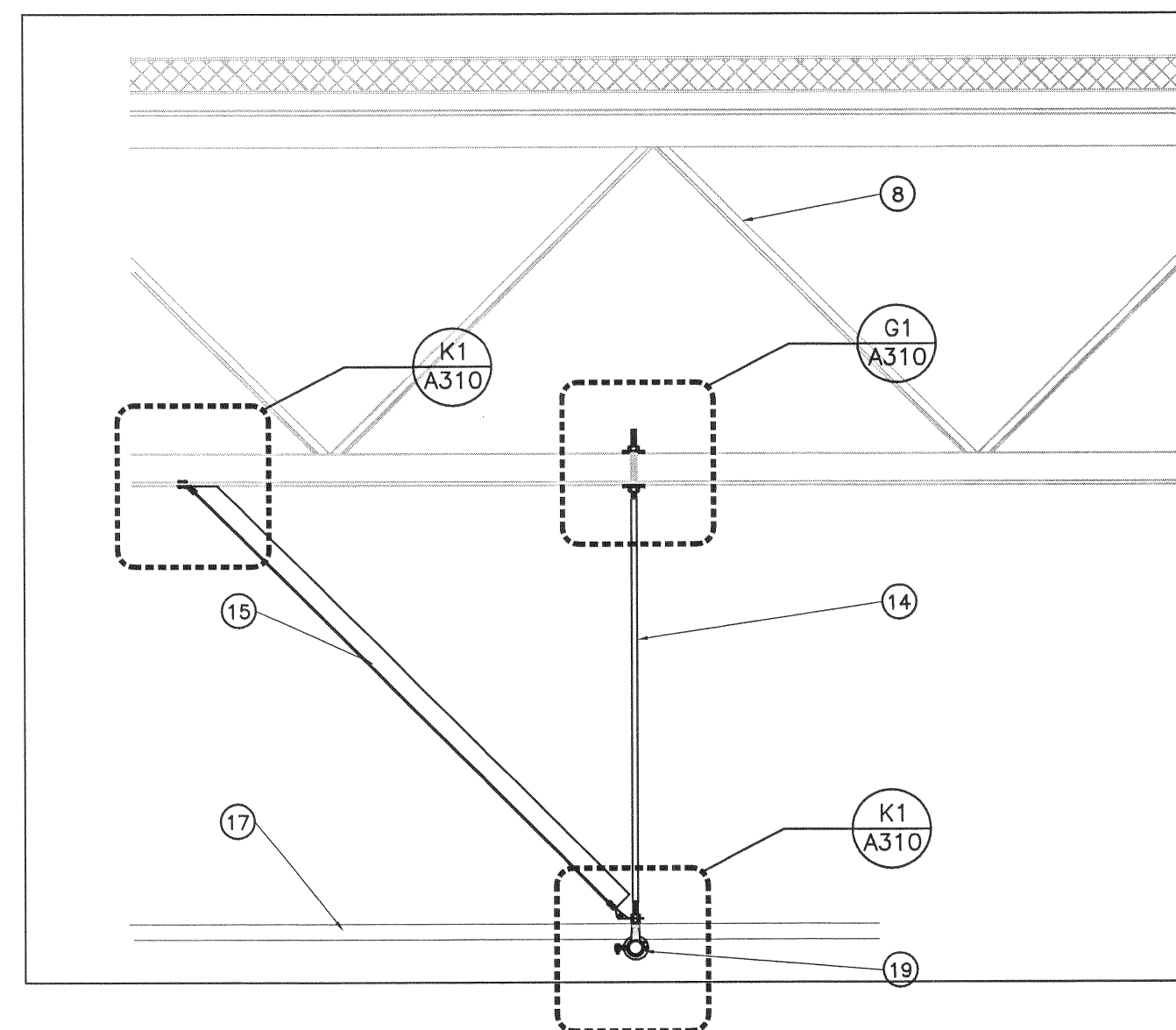
G1	DETAIL
----	--------

3" = 1'-0"	LIGHT GRID CONNECTION TO JOIST
------------	--------------------------------

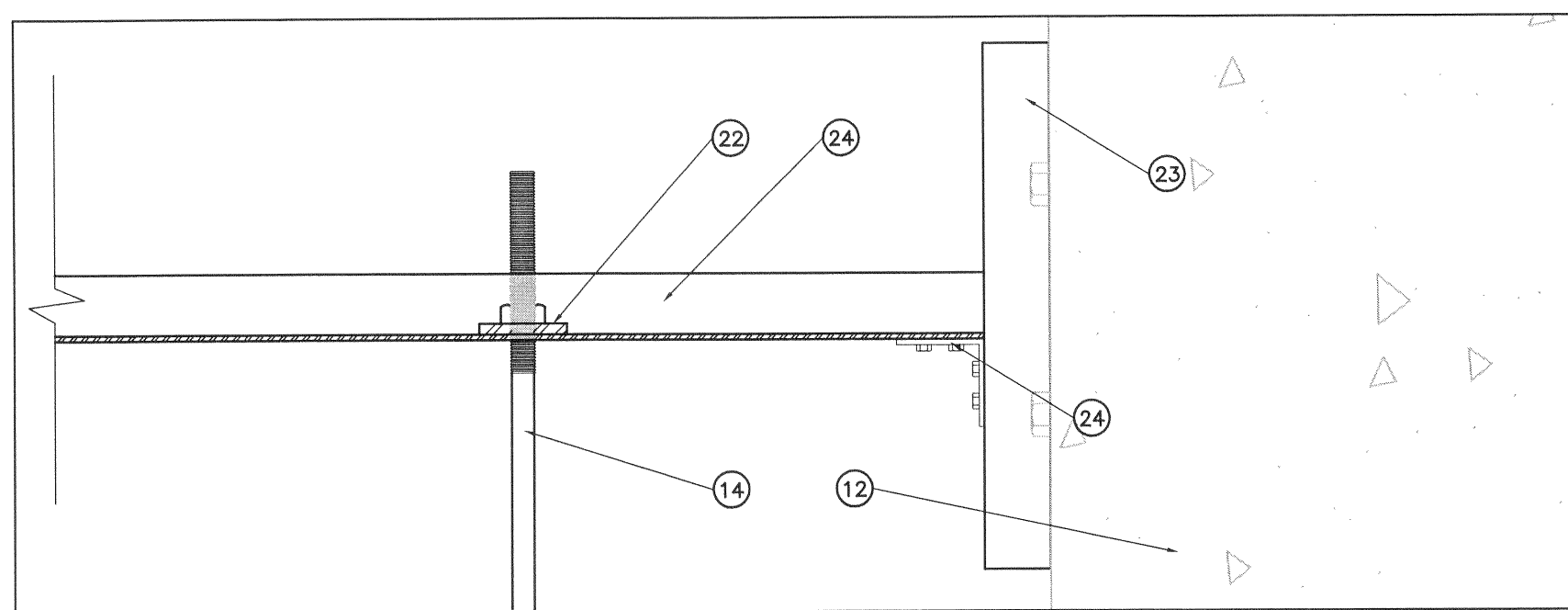


E1	DETAIL
----	--------

3" = 1'-0" | LIGHT GRID CONNECTION

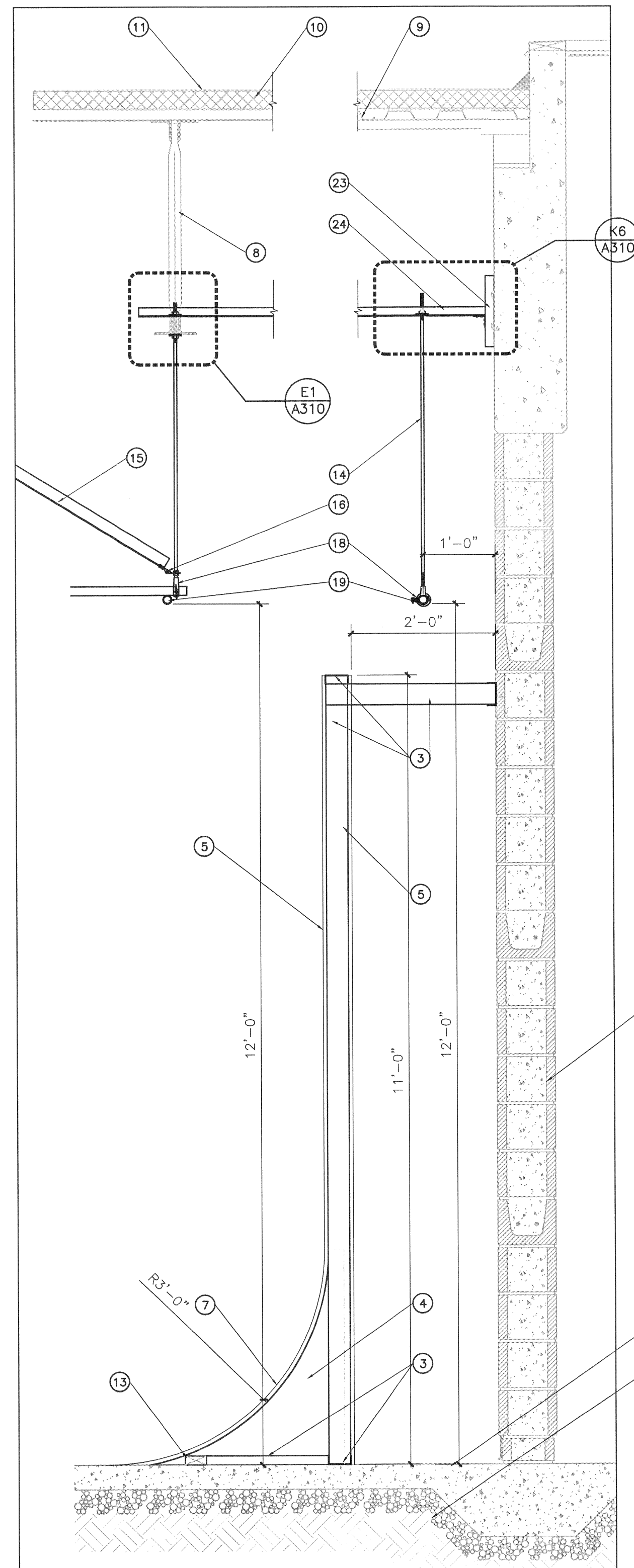


A1	DETAIL
----	--------

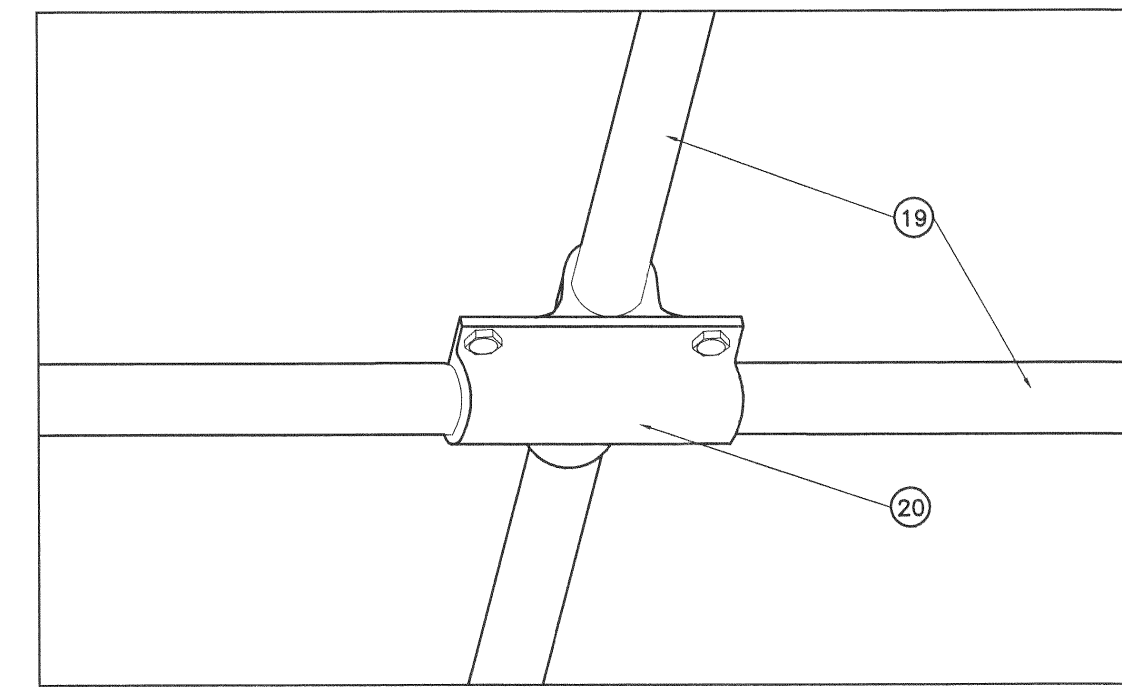
$$\frac{3}{4}'' = 1'-0''$$


K6	DETAIL
----	--------

3" = 1'-0"	UNISTRUT CONNECTION
------------	---------------------

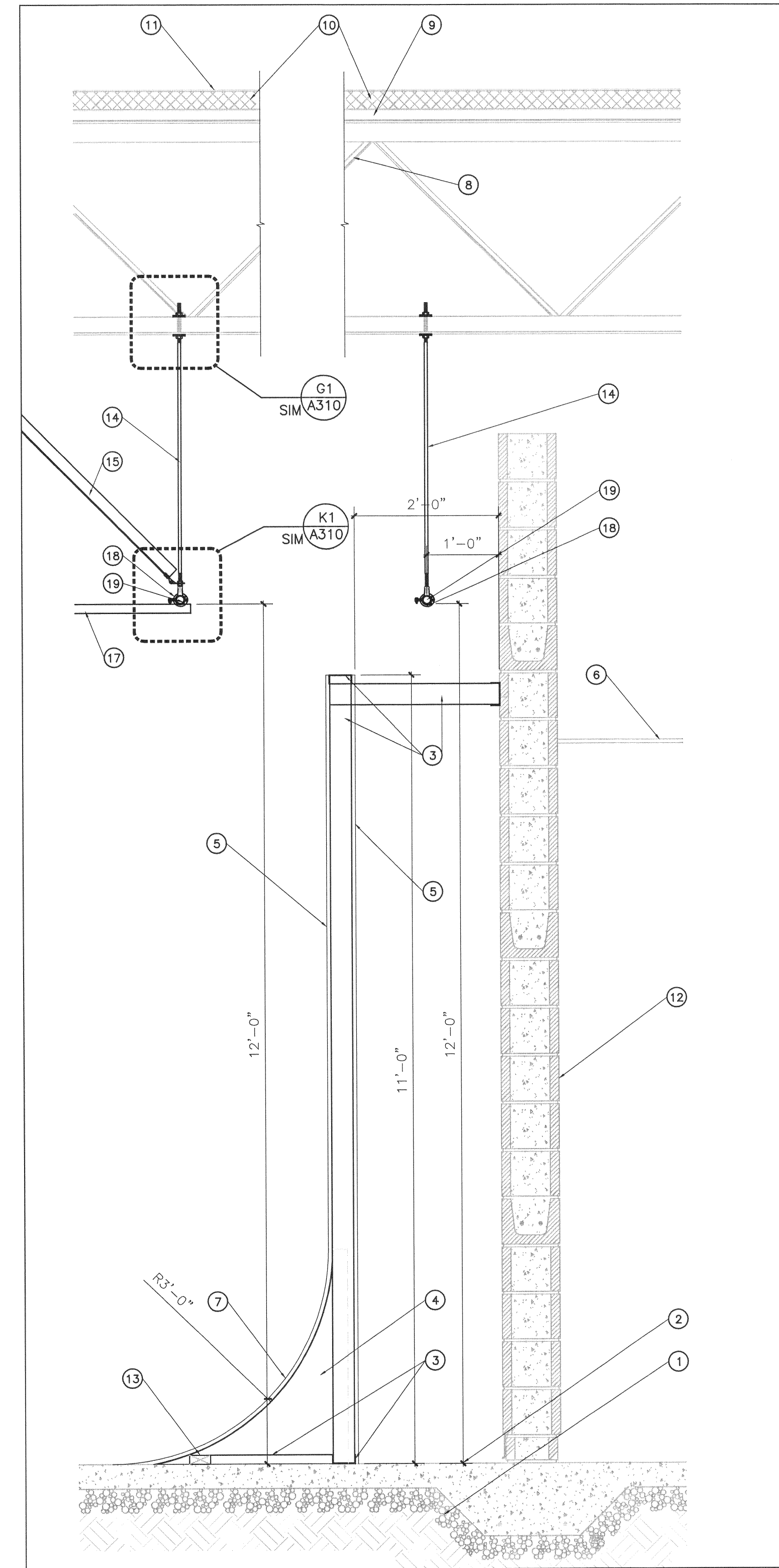


A6 | WALL SECTION

$$3/4" = 1'-0"$$


K11	DETAIL
-----	--------

3" = 1'-0"	GRIDLOCK CLAMP
------------	----------------

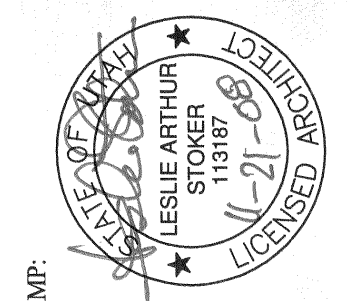


A11	WALL SECTION
-----	--------------

$$3/4" = 1'-0"$$

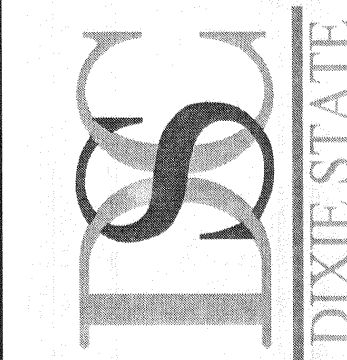
## KEYNOTES

- ① EXISTING CRUSHED GRAVEL
- ② EXISTING CONCRETE SLAB
- ③ 3 3/8" 3625162-33 STRUCTURAL STEEL STUD @ 16" OC
- ④ 3/4" SHAPED PLYWOOD PANELS 16" OC
- ⑤ 1/2" GYP BOARD
- ⑥ EXISTING CEILING
- ⑦ 1/2" GYP BD MOLDED FOR CURVE
- ⑧ EXISTING OPEN WEB JOIST
- ⑨ EXISTING STEEL ROOF DECK
- ⑩ EXISTING FOAM INSULATION
- ⑪ SINGLE-PLY ROOFING MEMBRANE
- ⑫ EXISTING CMU/CONCRETE WALL
- ⑬ WOOD BLOCKING BETWEEN SHAPED WOOD PANELS
- ⑭ 1/2" DIA A36 ROD THRD EA END W/DOUBLE NUT EA END
- ⑮ 1/2" DIA A307 BOLTS EA END SPACE @ THIRD POINTS EA SIDE OF PIPE LIGHT GRID
- ⑯ HINGED CONNECTOR BETWEEN "L" BRACE & THREADED ROD
- ⑰ PIPE BEYOND
- ⑱ PIPE CLAMP
- ⑲ SCHED 40 1 1/2" STEEL PIPE
- ⑳ CHEESEBOROUGH (GRIDLOCK CLAMP)
- ㉑ BRACKET CONNECTION BETWEEN "L" BRACE & EXISTING JOIST
- ㉒ 1/2" DIA WASHER
- ㉓ 2" SQUARE UNISTRUT BOLTED TO WALL
- ㉔ 2" SQUARE UNISTRUT CONNECTED TO JOIST



**CONSULTING GROUP INC**  
architects engineers planners

53 N. MAIN STREET  
ST GEORGE, UT 84770  
PHONE 435-673-4800  
FAX 435-673-4801



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WALL SECTIONS

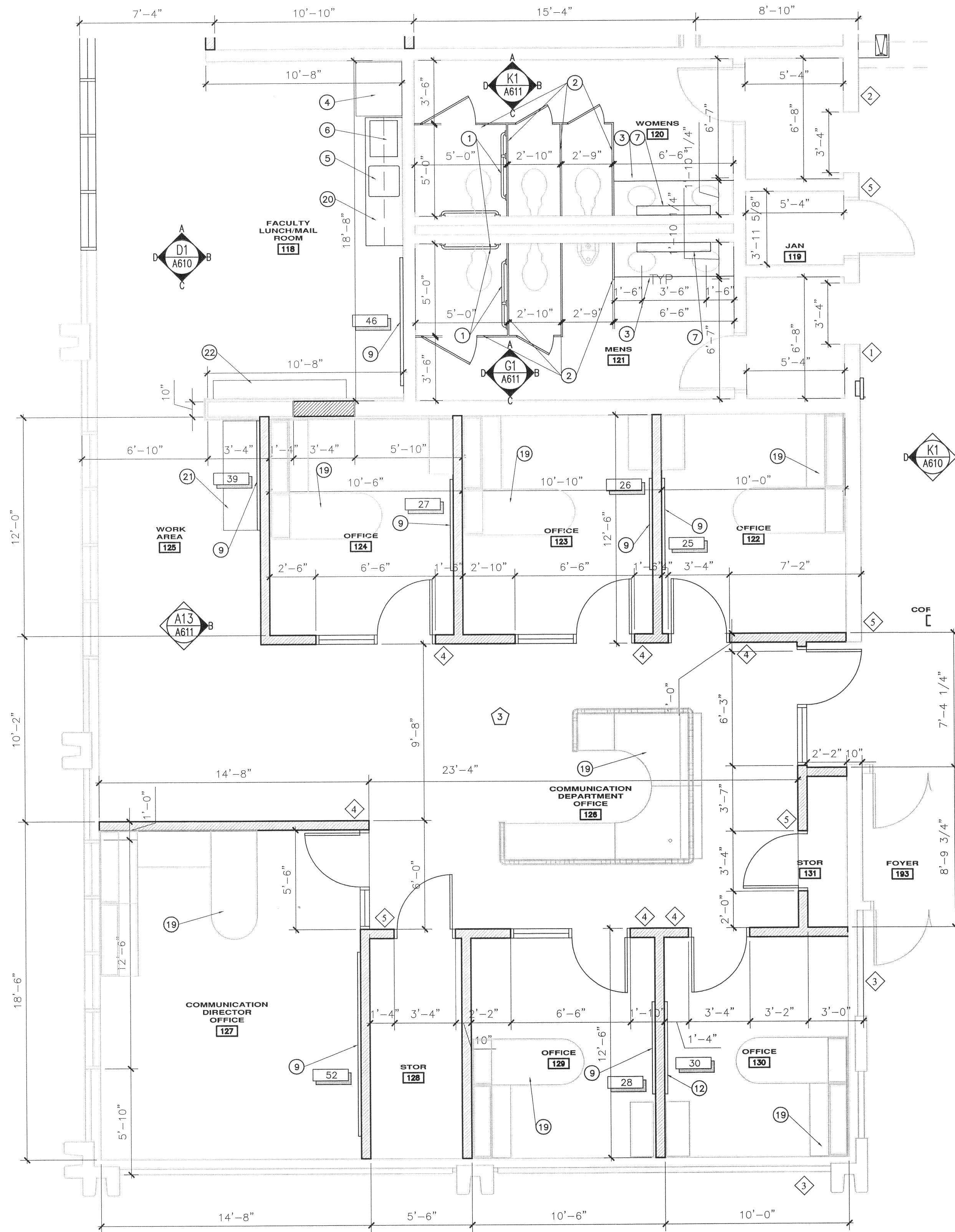
SHEET NO.

A310

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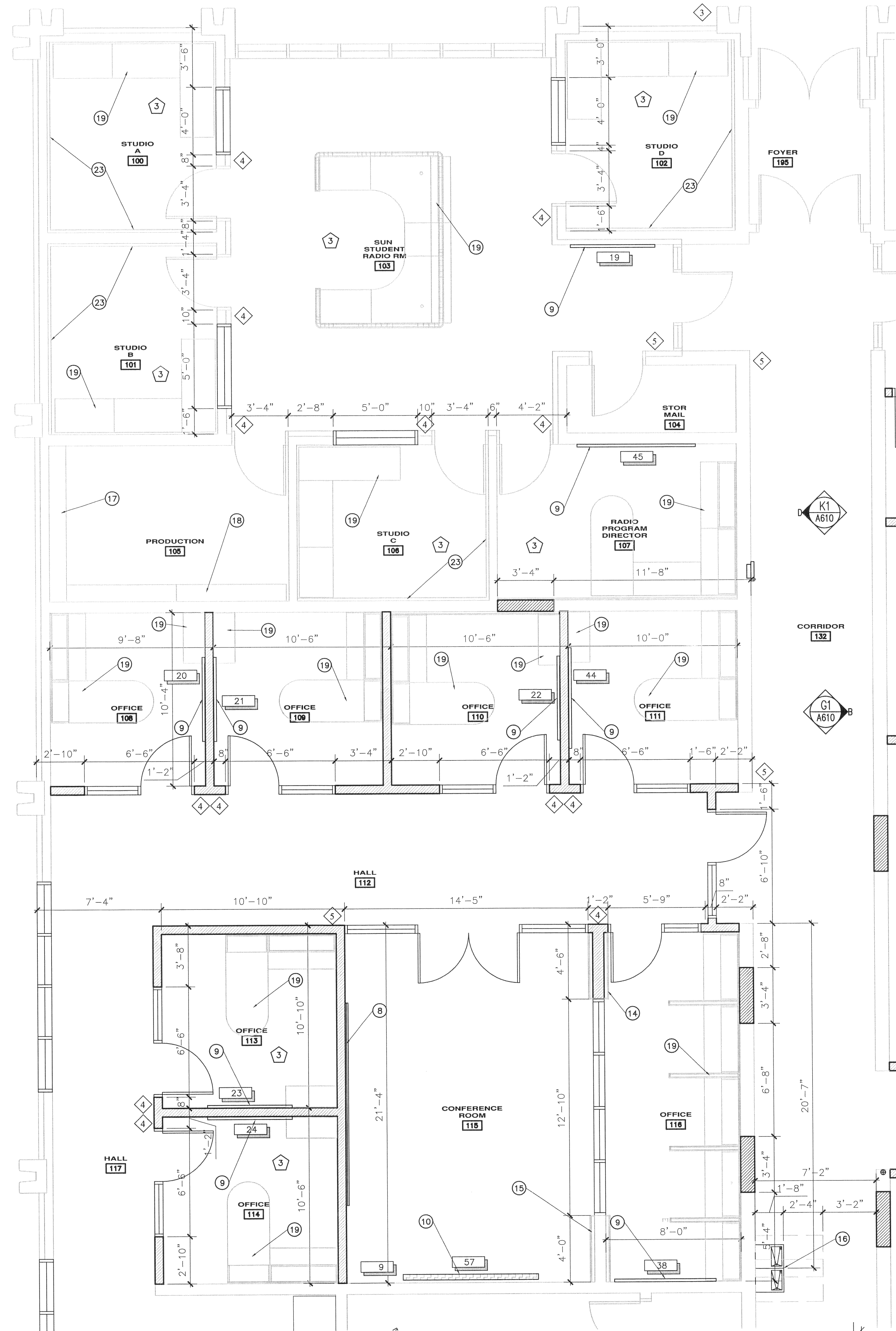


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**A1** ENLARGED FLOOR PLAN- SECTION B

1/4" = 1'-0"



**A8** ENLARGED FLOOR PLAN- SECTION A

1/4" = 1'-0"

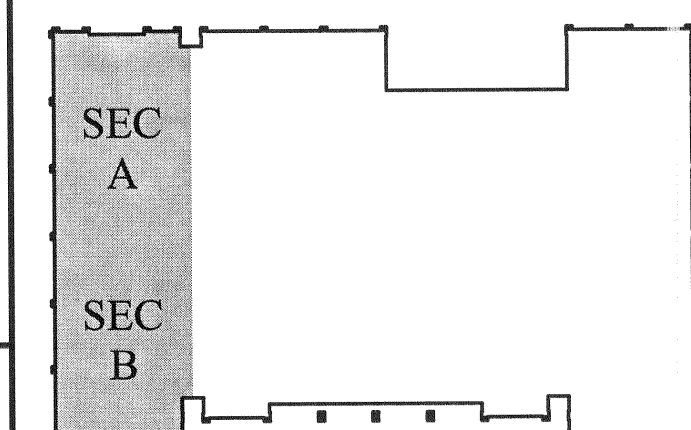
**KEYNOTES**

- 1 NEW ADA COMPLIANT GRAB BARS
- 2 NEW TOILET PARTITIONS (SEE SPECS.)
- 3 NEW VANITY & LAV (SEE K7/A501)
- 4 NEW REFRIGERATOR BY OWNER
- 5 SINK (SEE PLUMBING SHEETS)
- 6 NEW MICROWAVE OVEN BY OWNER
- 7 NEW LIGHT FIXTURE (SEE ELECT. SHEETS)
- 8 RE-LOCATED WHITE BOARD-SEE SCHEDULE
- 9 RE-LOCATED TAC BOARD-SEE SCHEDULE
- 10 RE-LOCATED PROJECTION SCREEN-SEE SCHEDULE
- 11 NEW WHITE BOARD-SEE SCHEDULE
- 12 NEW TAC BOARD-SEE SCHEDULE
- 13 NEW PROJECTION SCREEN-SEE SCHEDULE
- 14 NEW FRAME WALL TO MATCH WIDTH OF EXISTING CMU WALL THAT HAS BEEN FURRED OUT
- 15 EXISTING CMU WALL FURRED OUT W/ "2" STRIP @ 16" OC COVERED W/ 5/8" GYP BOARD
- 16 NEW ADA HI-LO DRINKING FOUNTAIN (SEE PLUMBING SHEETS)
- 17 EXISTING CABINET TO REMAIN
- 18 UPPER CABINET RELOCATED FROM ROOM 100, 101, 102 CABINET TO BE STACKED ON WEST WALL
- 19 FIXED EQUIPMENT NOT PART OF THIS CONTRACT TO BE SUPPLIED BY OWNER. CONTRACTOR TO COORDINATE LOCATION & INSTALLATION (SEE ELECTRICAL SHEETS FOR CONNECTIONS)
- 20 LINE OF UPPER CABINET
- 21 MILLWORK BASE CABINET (THIS CONTRACT)
- 22 MILLWORK MAIL BOXES (THIS CONTRACT)
- 23 NEW 24"x24"x2" ACOUSTIC PYRAMID FOAM PANELS.

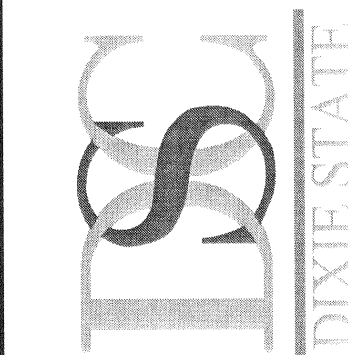
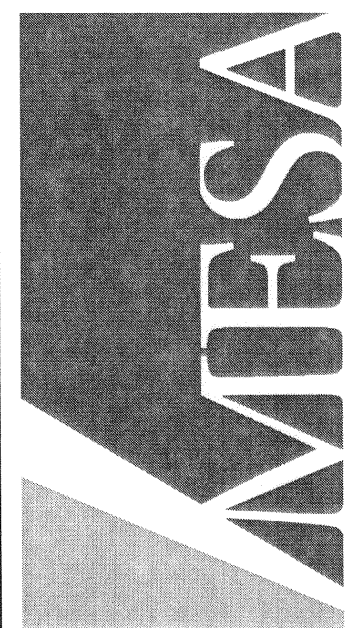
**GENERAL NOTES**

- 1 "K" REFER TO BUILDING SIGNAGE, SEE J12/A405 FOR BUILDING SIGN SCHEDULE
- 2 SEE A1/A405 FOR SIGN DETAILS
- 3 FIXED EQUIPMENT. NOT IN THIS CONTRACT. SHOWN FOR COORDINATION

**KEY PLAN**



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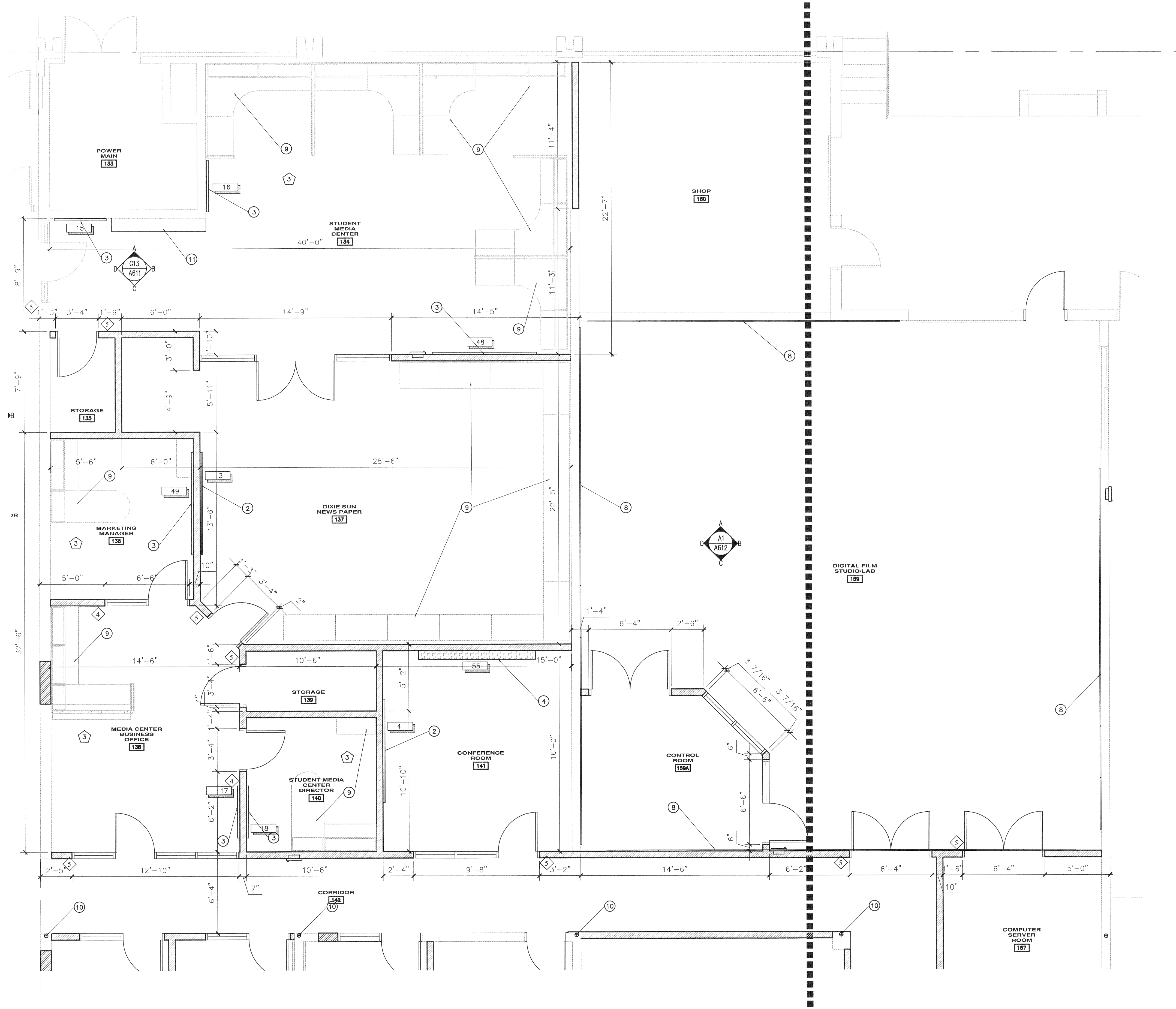
ENLARGED  
FLOOR PLANS

SHEET NO.

**A401**



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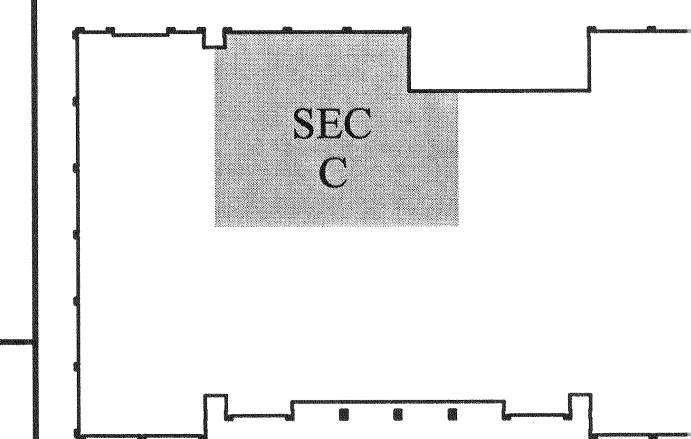
#### KEYNOTES

- EXISTING OVERHEAD COIL DOOR
- RELOCATE WHITE BOARD—(SEE SCHEDULE A606)
- RELOCATE TACK BOARD—(SEE SCHEDULE A606)
- RELOCATE PROJECTION SCREEN—(SEE SCHEDULE A606)
- NEW WHITE BOARD—(SEE SCHEDULE A606)
- NEW TACK BOARD—(SEE SCHEDULE A606)
- NEW PROJECTION SCREEN—(SEE SCHEDULE A606)
- ACOUSTIC WALL PANELS (SEE A1-A612)
- FIXED EQUIPMENT NOT PART OF THIS CONTRACT, TO BE SUPPLIED & INSTALLED BY OWNER. CONTRACTOR TO COORDINATE LOCATION & INSTALLATION—(SEE ELECTRICAL SHTS FOR CONNECTIONS)
- EXISTING COLUMN, CONTRACTOR TO VERIFY EXACT LOCATION & COORDINATE W/ NEW WALLS
- MILLWORK MAILBOXES

#### GENERAL NOTES

- \*REFER TO BUILDING SIGNAGE, SEE J12/A405 FOR BUILDING SIGN SCHEDULE
- SEE A1/A405 FOR SIGN DETAILS
- FIXED EQUIPMENT NOT IN THIS CONTRACT. SHOWN FOR COORDINATION

#### KEY PLAN



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SHEET

ENLARGED  
FLOOR PLANS

SHEET NO.

A402

A1

ENLARGED FLOOR PLAN- SECTION C

1/4" = 1'-0"





- 
- The floor plan of the second floor shows a large rectangular area. In the upper right corner, there is a shaded rectangular area labeled 'SEC G'. In the lower center, there is a larger shaded rectangular area labeled 'SEC D'. The perimeter of the floor is marked with small squares, likely representing doors or windows. There are also some small rectangular features along the top and bottom edges of the main area.

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SHEET

ENLARGED  
FLOOR PLANS

SHEET NO.

A403

